

Attachment B

**Architectural Drawings
(Tower and Plaza Buildings)**



6.3
Average star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nature.gov.au

Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor: **Juhi Banerji**
Accreditation No.: DMN/21/2042
Address: 903-921 Bourke St,
Waterloo, NSW, 2017

<https://www.nsw.gov.au/qrcode/Landing?PublicId=4WT-EOEV9QA&GpCent=1>



Legend - BASIX PLANS

- Property boundary
- LFP Envelope
- High level Windows

Insulation Requirements

- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.5 to External Walls
- Internal Walls All Per Account Requirements

Glazing Per Requirements

- CFS 2 x 500mm ceiling air
- CFS 1 x 500mm ceiling air
- CFS 1 x 500mm ceiling air

Notes

- All measurements and calculations are taken in accordance with the requirements of the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS).
- The National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS) are used to determine the energy performance of the building.
- The National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS) are used to determine the energy performance of the building.

Scale: 1:100 @ A1

Drawn: DL Checked: MD

Project No.: S12376

Subj.: Design Application

Plot Date: 24/01/2023 11:57 PM

BM:

Dahua
903 Bourke Street Waterloo

BASIX Set

Level 01

Drawing No.: D1A_TP.04.01

Revision: C

Author: Juhi Banerji
Project Manager: DMN/21/2042
Assessor: Juhi Banerji
Client: Dahua Pty Ltd
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Bates Smart Architect Pty Ltd
Level 10, 100 Bourke Street, Waterloo NSW 2017
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QUALITY ELEMENT

LFP ENVELOPE

Class 2 summary
4WTEQEV9QA 24/01/2023

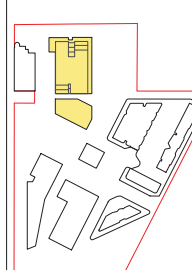
Assessor Juhı Banerji
Accreditation No. DMN/21/2042
Address 903-921 Bourke St,
 Waterloo, NSW, 2017
<https://www.rfs.com.au/QRcodeLanding?PublicId=4WT EOE9QA&GrpCent=1>

6.3
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.nature.gov.au

- Legend - BASIX PLANS**
- Property boundary
 - LFP Envelope
 - High level Windows
 - Insulation Requirements
 - Total R2 to Roof/Ceiling
 - Total R2 to Slab
 - Total R2 to External Walls
 - Internal Wall As Per Acco. Requirements
 - Glazing Per Requirements
 - CFR 2 x 100mm ceiling air
 - CFR 1 x 100mm ceiling air
 - CFR 1 x 100mm ceiling air

Notes

- All measurements and calculations are taken in accordance with the requirements of the BASIX Act and the BASIX Regulations.
- The internal performance values for all windows and glazing products are to be in accordance with the Glazing Performance Index (GPI) as defined in the BASIX Act.

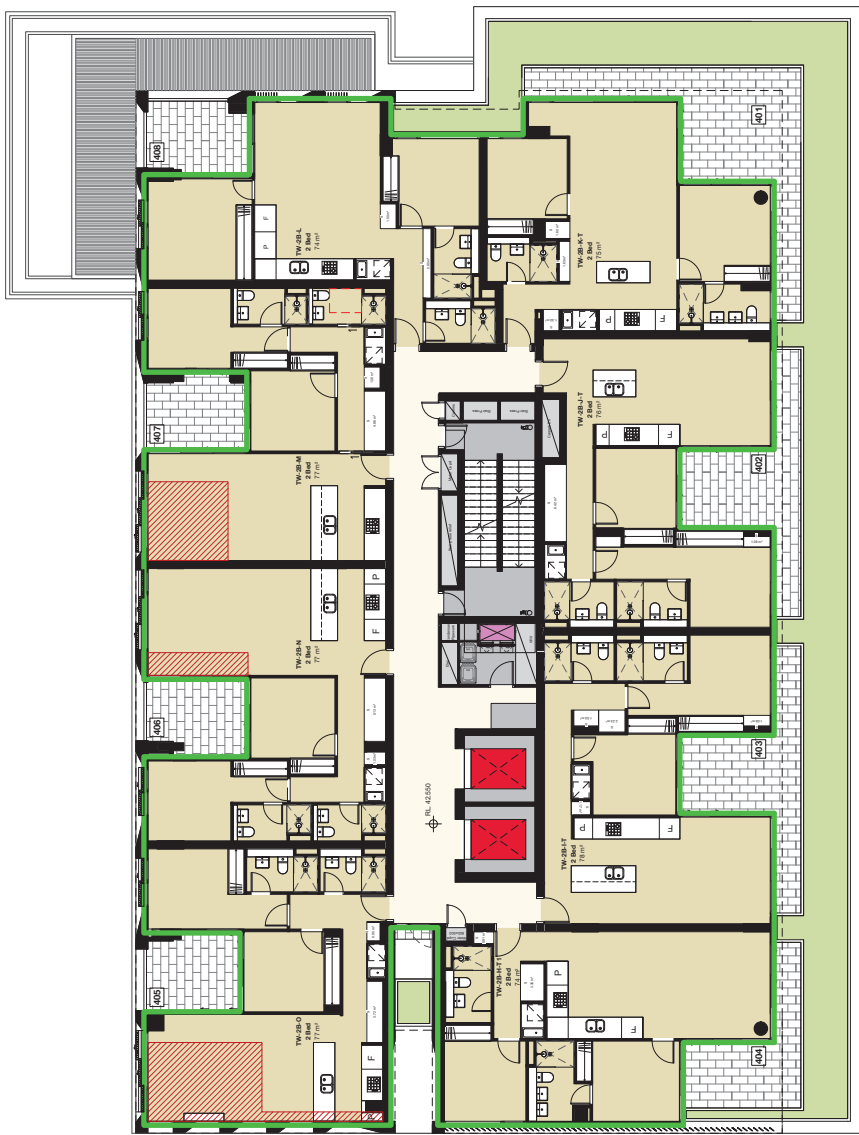


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3	Issue for assessment	18/01/2023	JB	MD
4	Issue for assessment	18/01/2023	JB	MD
5	Issue for assessment	18/01/2023	JB	MD
6	Issue for assessment	18/01/2023	JB	MD
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50	Issue for assessment	18/01/2023	JB	MD

Dahua
903 Bourke Street Waterloo
BASIX Set
 Level 03

Scale: 1:100 @ A1
 Drawn: DL
 Project No: S12376
 Subj: Design Application
 Plot Date: 24/01/2023 11:54 AM
 BM

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6.3
Average star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nature.gov.au

Class 2 summary
4WTEQE9QA 24/01/2023

Assessor: **Juhi Banerji**
Accreditation No.: **DMN/21/2042**
Address: **903-921 Bourke St, Waterloo, NSW, 2017**

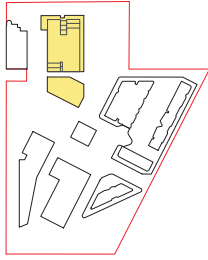
<https://www.rfs.com.au/QRcodeLanding?PublicId=4WT EOE9QA&GrpCent=1>

Legend - BASIX PLANS

- Property boundary
- LIP Envelope
- High level Windows
- Insulation Requirements
 - Total R2.0 to Roof/Ceiling
 - Total R2.0 to Slab
 - Total R2.0 to External Walls
 - Internal Walls As Per Account Requirements
- Ceiling Fan Requirements
 - CF1 2 x 600mm ceiling fan
 - CF2 1 x 600mm ceiling fan
 - CF3 1 x 600mm ceiling fan

Notes

- All measurements and calculations are taken to comply with the requirements of the BASIX Act and Regulations.
- The final performance values for windows and doors are to be in accordance with the data provided in the attached report.



Dahua
903 Bourke Street Waterloo
BASIX Set
Level 04

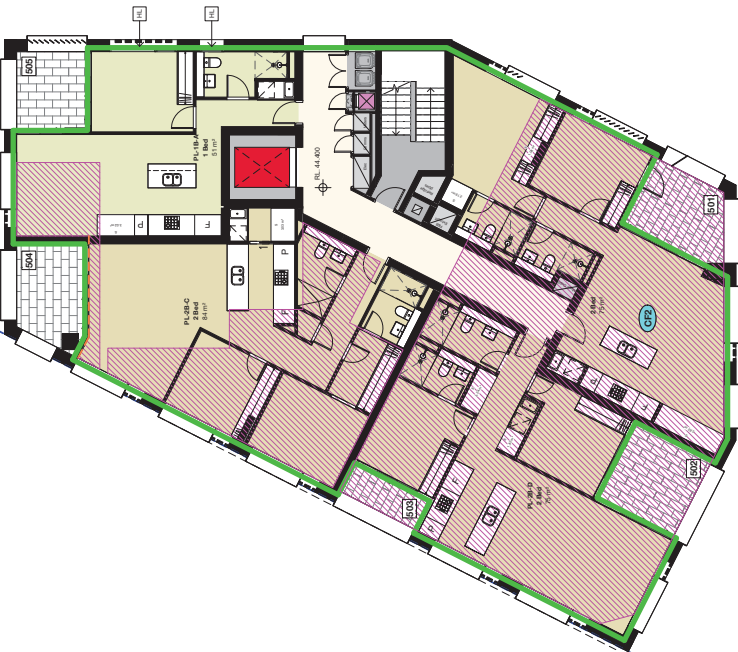
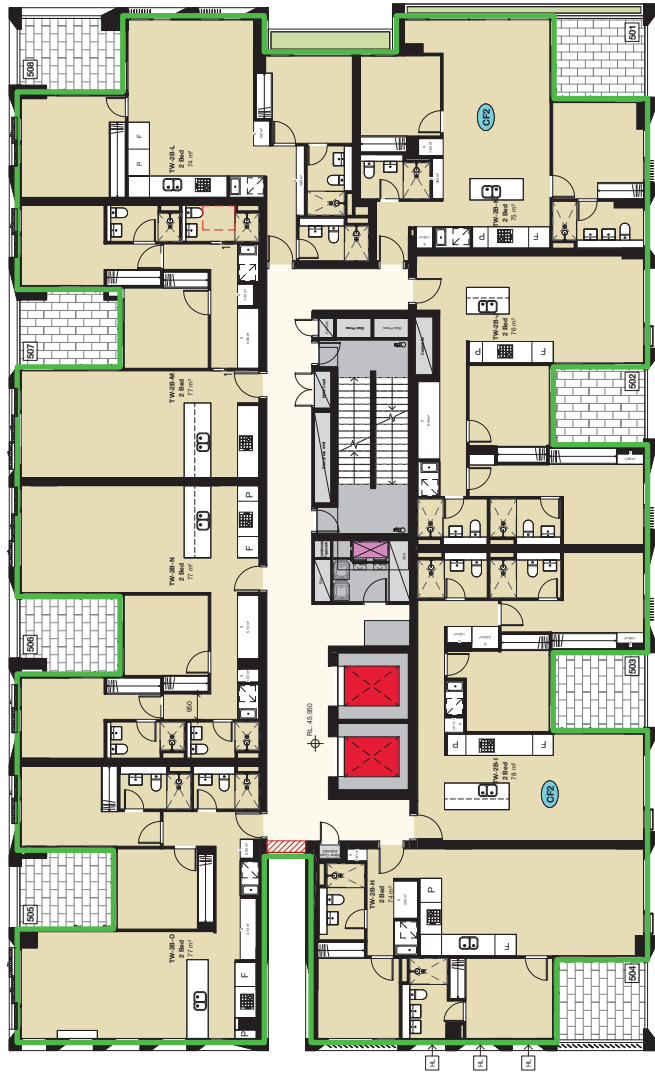
Scale: 1:100 @ A1
Drawn: DL Checked: MD
Project No: S12376
Subj: Design Application
Plot Date: 24/01/2023 11:57 PM
BM

Drawing No: **D1A_TP.04.04**
Revision: **E**

Made by: Juhi Banerji
Reviewed by: DMN/21/2042
Approved by: [Signature]
Date: 24/01/2023 11:57 PM

Bates Smart Architects Pty Ltd
402 Bourke St NSW
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6.3
Average
star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nature.gov.au

Class 2 summary
4WTEQE9QA 24/01/2023

Assessor: **Juhi Banerji** DMN/21/2042

Address: **903-921 Bourke St, Waterloo, NSW, 2017**

<https://www.rfs.com.au/QRcode/Landing?PublicId=4WT EOE9QA&GrpCent=1>

Legend - BASIX PLANS

- Property boundary
- LFP envelope
- High level Windows

Insulation Requirements

- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Walls As Per Accidents' Requirements

Cooling Fan Requirements

- CF1 2 x 150mm ceiling fan
- CF2 1 x 150mm ceiling fan
- CF3 1 x 150mm ceiling fan

Notes

- All recommendations and other provisions are to be used to prevent the occurrence of all, between a residential building and its neighbours or in other specific circumstances, with NCC and BASIX requirements.
- The thermal performance values for all windows and glazed doors are to be in accordance with the cooling fan requirements listed for each window and door.

KEY PLAN

Scale 1:100 @ A1

Drawn DL Checked MD

Project No. S12376

Subs. Design Application

Plot Date 24/01/2023 11:47 AM

BM

Revision

Rev	Description
1	Issue for Approval
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Made by: Juhi Banerji
Reviewed by: DMN/21/2042
Approved by: [Signature]
Date: 24/01/2023

Bates Smart Architect Pty Ltd 400 Bourke St NSW
 10/100 Bourke St NSW
 10/100 Bourke St NSW
 10/100 Bourke St NSW

Dahua
903 Bourke Street Waterloo
BASIX Set
Level 05

Scale 1:100 @ A1
Drawn DL
Project No. S12376
Subs. Design Application
Plot Date 24/01/2023 11:47 AM
BM

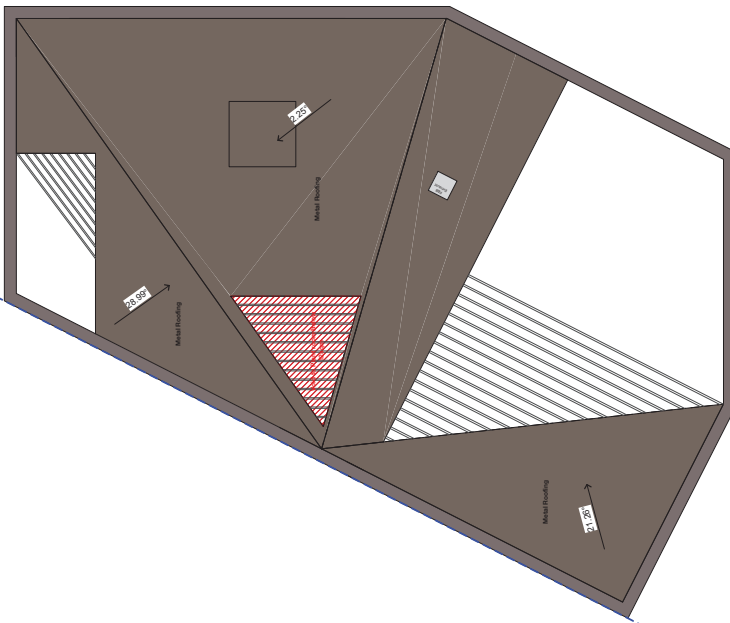
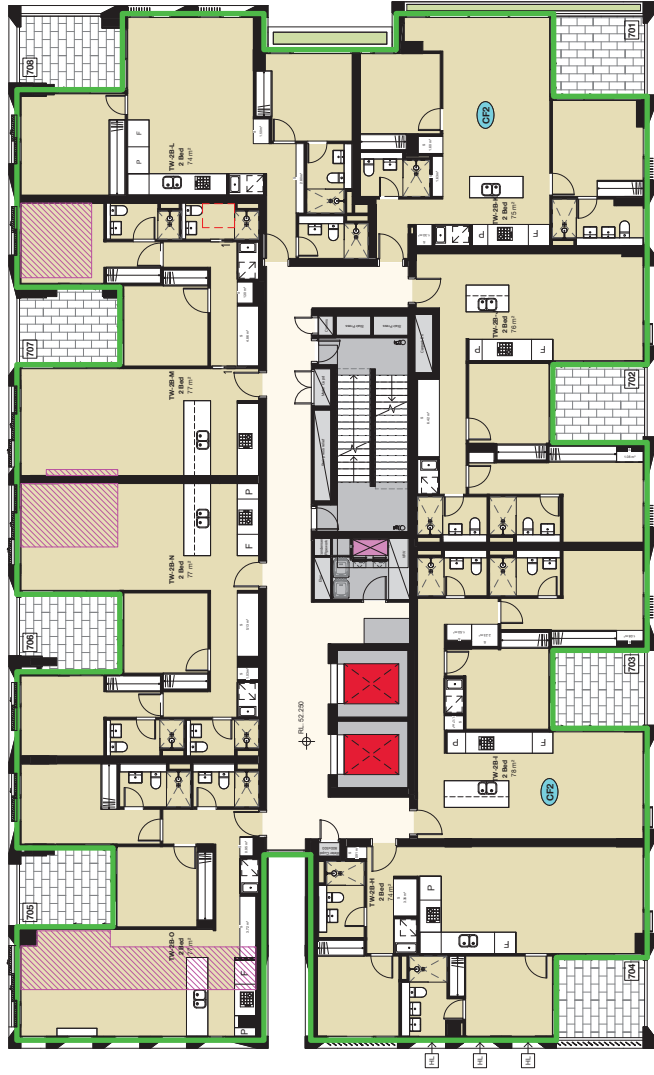
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100	Issue for Approval

Drawing No. D1A_TP.04.05
Revision E

Made by: Juhi Banerji
Reviewed by: DMN/21/2042
Approved by: [Signature]
Date: 24/01/2023

Bates Smart Architect Pty Ltd 400 Bourke St NSW
 10/100 Bourke St NSW
 10/100 Bourke St NSW
 10/100 Bourke St NSW



Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor: **Juhi Banerji**
 Accreditation No.: **DMN/21/2042**

Address: **903-921 Bourke St,
 Waterloo,
 NSW, 2017**

<https://www.fr5.com.au/QRcode/Landing?PublicId=4WT-EQEV9QA&GrpCent=1>

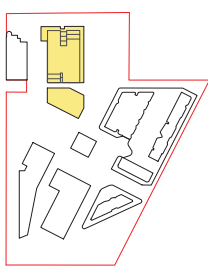
6.3
Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nature.gov.au

- Legend - BASIX PLANS**
- Property boundary
 - LFP Envelope
 - High level Windows
 - Insulation Requirements
 - Total R2.0 to Roof/Ceiling
 - Total R2.0 to Slab
 - Total R2.0 to External Walls
 - Internal Walls As Per Accredit. Requirements
 - Glazing Panel Requirements
 - CFR 2 x 500mm rating in
 - CFR 1 x 500mm rating in
 - CFR 1 x 500mm rating in

Notes

- All measurements and calculations are taken in accordance with the requirements of the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS).
- The thermal performance values for all windows and glazing panels are to be in accordance with the data provided in the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS).

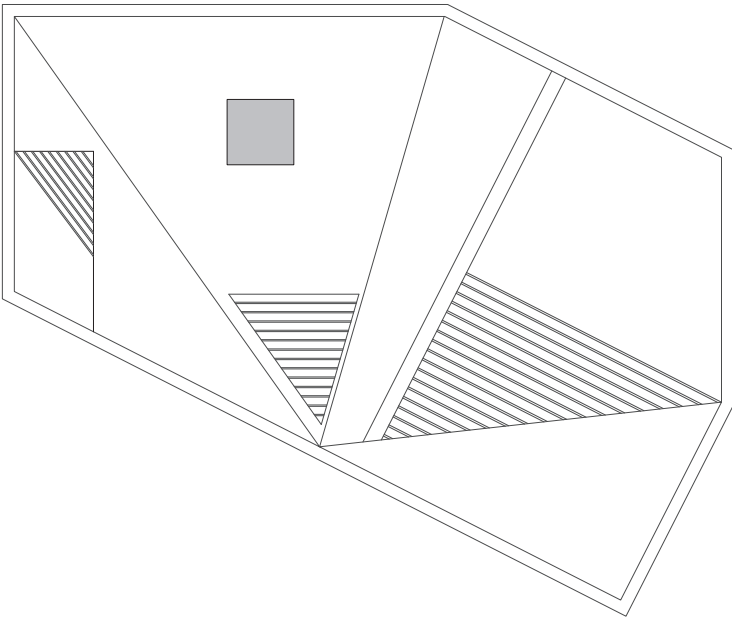
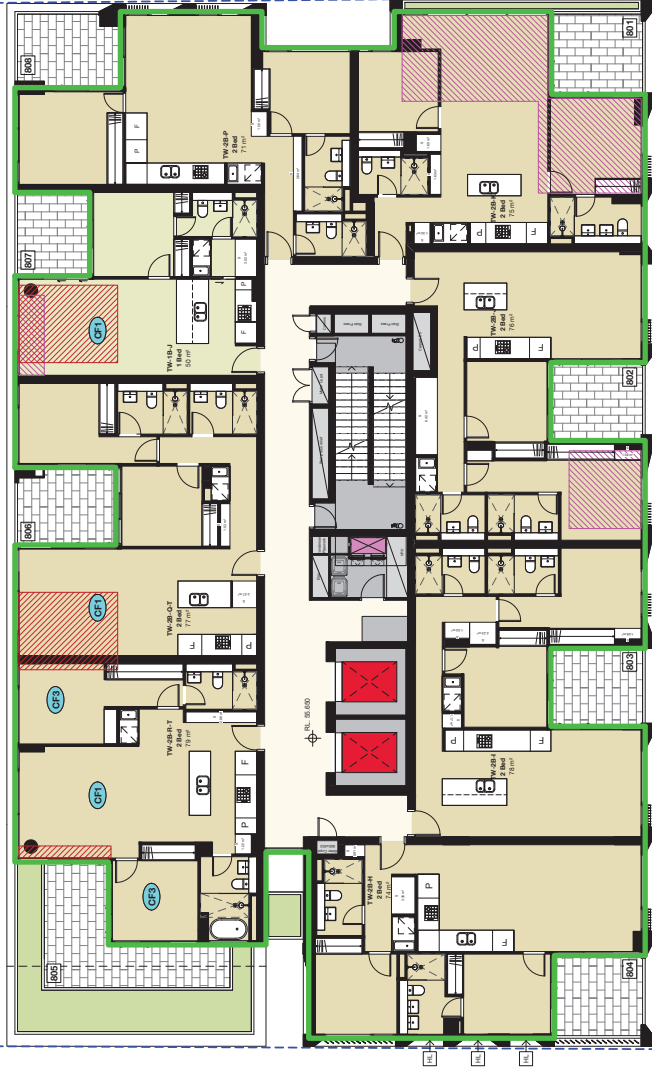


Dahua
903 Bourke Street Waterloo
BASIX Set
Level 07

Scale: 1:100 @ A1
 Drawn: DL Checked: MD
 Project No: S12376
 Subst: Design Application
 Plot Date: 24/01/2023 11:42 AM
 BM

Drawing No: **D1A.TP.04.07** Revision: **C**

LEP ENVELOPE



Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor Juhı Banerji
Accreditation No. DMN/21/2042

Address 903-921 Bourke St,
 Waterloo,
 NSW, 2017

<https://www.r5.com.au/QRcode/Landing?PublicId=4WT-EQEV9QA&GpCert=1>

6.3
Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
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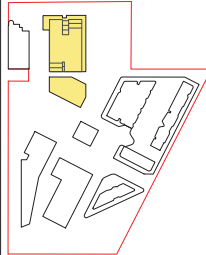
Legend - BASIX PLANS

- Property boundary
- LEP Envelope
- High level Windows
- Insulation Requirements
- Total R5.0 to Roof/Ceiling
- Total R5.0 to Sill
- Total R5.0 to External Walls
- Internal Walls As Per Accoords. Requirements
- CE1 2 x 100mm ceiling insulation
- CE2 1 x 100mm ceiling insulation
- CE3 1 x 100mm ceiling insulation

Notes

- All measurements and calculations are to be made to prevent the movement of air between a room and the outdoors.
- The internal performance values for all windows and glass doors are to be in accordance with the data provided in the attached schedule of window and glass door data.

KEY PLAN



Dahua
903 Bourke Street Waterloo

BASIX Set

Level 08

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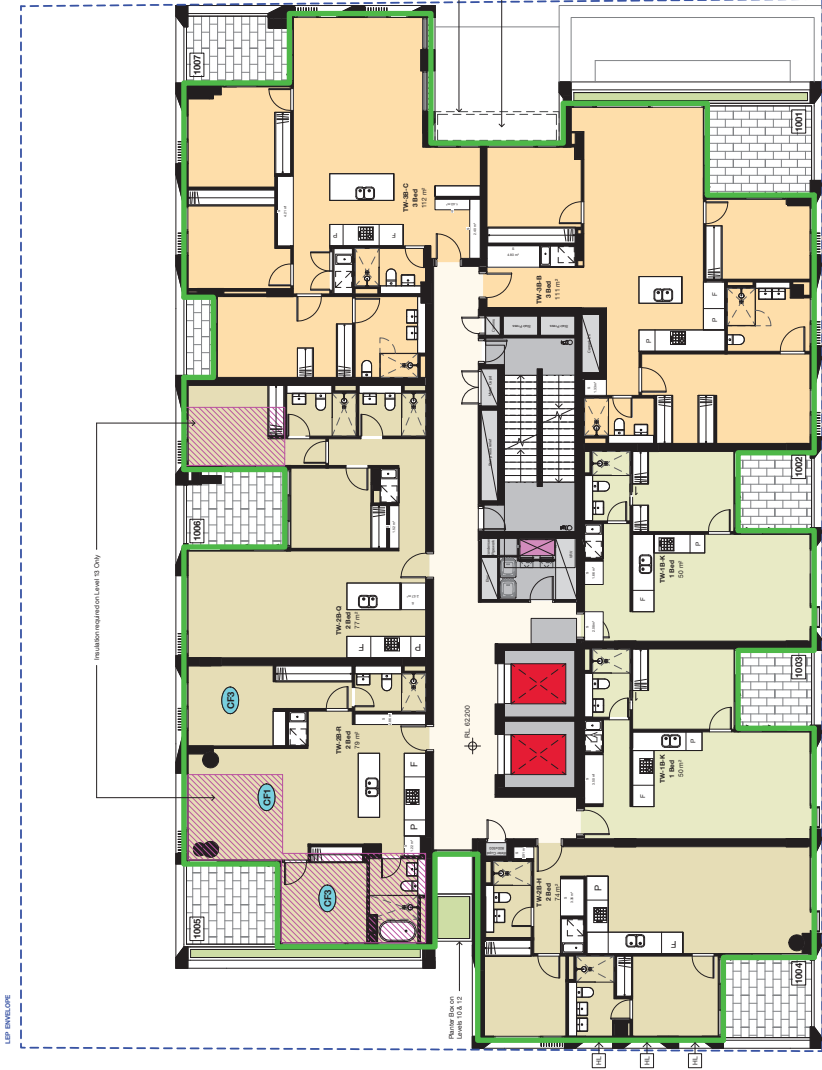
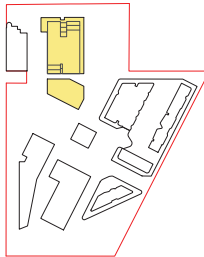
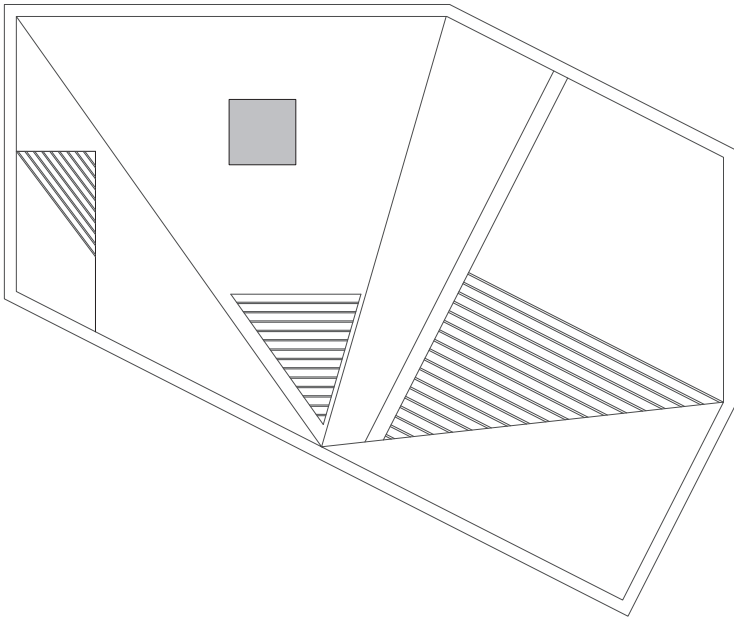
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Drawn	DL			
Project No.	S12376			
Subj.	Design Application			
Plot Date	24/01/2023 11:54 PM			
BM				

Drawing No. **D1A_TP.04.08**
 Revision **C**



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BATESSMARTTM



Class 2 summary
4WTEQE9QA 24/01/2023
Assessor Juhı Banerji
Accreditation No. DMN/21/2042
Address 903-921 Bourke St, Waterloo, NSW, 2017
<https://www.rfs.com.au/QRcodeLanding?PublicId=4WT-EQE9QA&GpCent=1>

6.3
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.natwide.gov.au

- Legend - BASIX PLANS**
- Property boundary
 - LEP Footprint
 - High level Windows
 - Insulation Requirements
 - Total R2.0 to Roof/Ceiling
 - Total R2.0 to Slab
 - Total R2.0 to External Walls
 - Internal Walls As Per Accoustic Requirements
 - CE1 2 x 600mm ceiling air
 - CE2 1 x 600mm ceiling air
 - CE3 1 x 600mm ceiling air

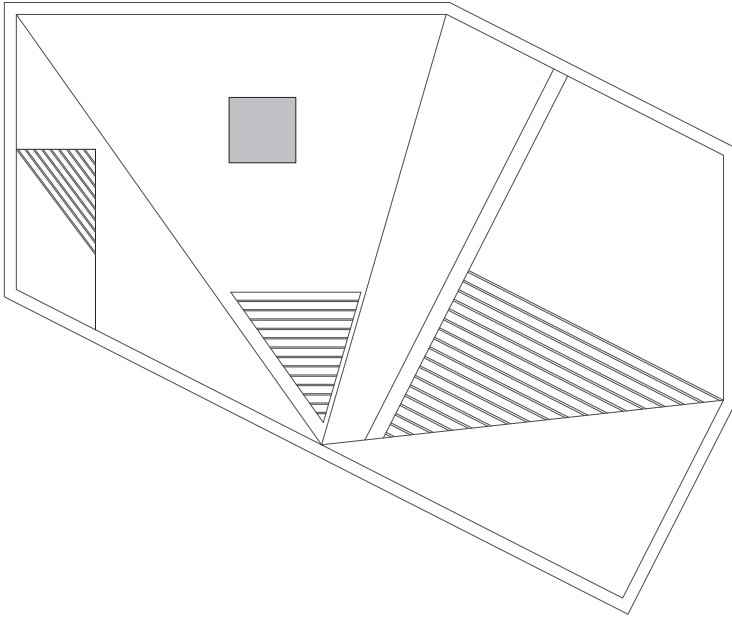
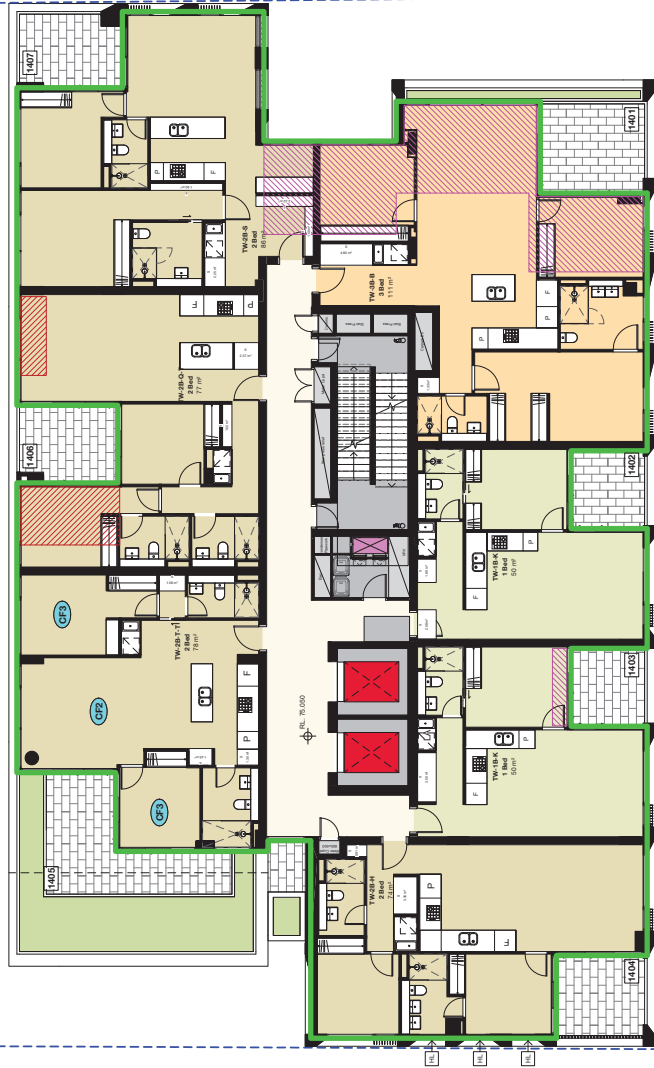
- Notes**
- All measurements and calculations are to be made to prevent the movement of air between a room and the outdoors through any opening in the external walls, ceiling or floor.
 - The internal performance values for all windows and glass doors are to be in accordance with the data provided in the table below.

Dahua
903 Bourke Street Waterloo
BASIX Set
Level 10-13

Scale	1:100	@ A1	Checked	MD
Drawn	DL			
Project No.	S12376			
Sub Jt	Design Application			
Plot Date	24/01/2023 10:04 AM			
BM				

BATESSMART
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 www.batesmart.com.au

LEP ENVELOPE



KEY PLAN

Notes

- All measurements and calculations are to be made to prevent the movement of air between a room and the outdoors.
- The internal performance values for all windows and glazing systems are to be in accordance with the AS/NZS 4499.1:2015.

Legend - BASIX PLANS

- Property boundary
- LEP Envelope
- High level Windows
- Insulation Requirements
- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Wall As Per Accoustic Requirements
- CE1 2 x 100mm ceiling air
- CE2 1 x 100mm ceiling air
- CE3 1 x 100mm ceiling air

Class 2 summary
4WTEQE9QA 24/01/2023

Assessor: **Juhi Banerji**
 Accreditation No.: **DMN/21/2042**

Address: **903-921 Bourke St, Waterloo, NSW, 2017**

<https://www.rfs.com.au/QRcodeLanding?PublicId=4WT-EQE9QA&GpCert=1>

6.3 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.natwide.gov.au

Legend - BASIX PLANS

Property boundary

LEP Envelope

High level Windows

Insulation Requirements

Total R2.0 to Roof/Ceiling

Total R2.0 to Slab

Total R2.0 to External Walls

Internal Wall As Per Accoustic Requirements

CE1 2 x 100mm ceiling air

CE2 1 x 100mm ceiling air

CE3 1 x 100mm ceiling air

Dahua
903 Bourke Street Waterloo
BASIX Set

Level 14

Scale: 1:100 @ A1

Drawn: DL Checked: MD

Project No: S12376

Sub 12: Design Application

Plot Date: 24/01/2023 10:05 AM

BM

Revision: **C**

D1A.TP.04.14

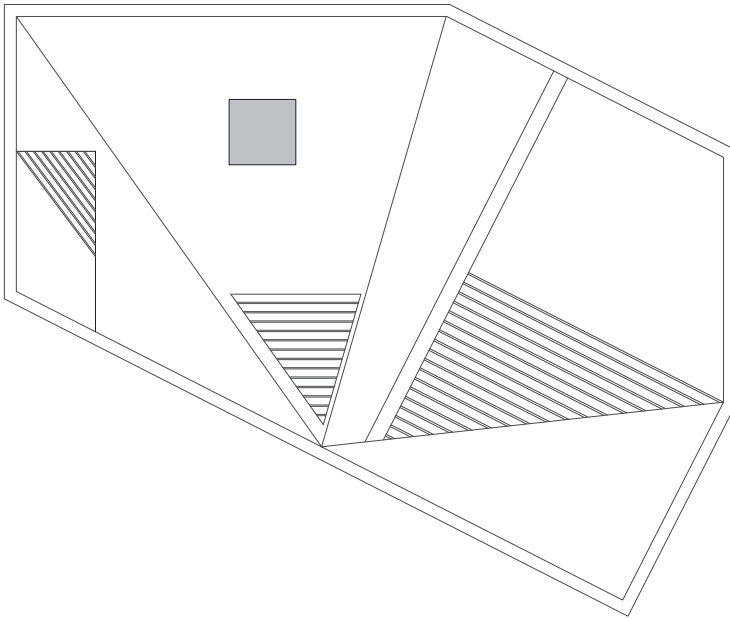


Made by: Bates Smart
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Bates Smart Architects Pty Ltd
 ABN 62 613 176 986

BATESSMARTTM

LEP ENVELOPE



6.3
Average
star rating

**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME
www.nature.gov.au

Class 2 summary
4WTEQE9QA 24/01/2023

Assessor: **Juhi Banerji**
Accreditation No.: **DMN/21/2042**
Address: **903-921 Bourke St,
Waterloo,
NSW, 2017**

[https://www.rfs.com.au/QRcode/Landing?PublicId=4WT
EQE9QA&GpCert=1](https://www.rfs.com.au/QRcode/Landing?PublicId=4WT
EQE9QA&GpCert=1)

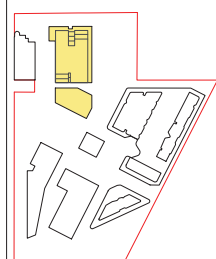
Legend - BASIX PLANS

- Property boundary
 - LEP Envelope
 - High level Windows
 - W Window
- Insulation Requirements**
- Total R2.0 to Roof/Ceiling
 - Total R2.0 to Slab
 - Total R2.0 to External Walls
 - Internal Walls As Per Accoustic Requirements
- Ceiling Fan Requirements**
- CF1 2 x 1500mm ceiling fan
 - CF2 1 x 1500mm ceiling fan
 - CF3 1 x 1200mm ceiling fan
- Source: Information provided by the National Energy Rating Scheme (NERS) and the National Energy Rating Scheme (NERS) website.

Notes

- All measurements and calculations are taken to comply with the requirements of the BASIX Act and the BASIX Regulations.
- The internal performance values for all windows and glazing systems are taken in accordance with the current National Energy Rating Scheme (NERS) website.

KEY PLAN



Dahua
903 Bourke Street Waterloo
BASIX Set

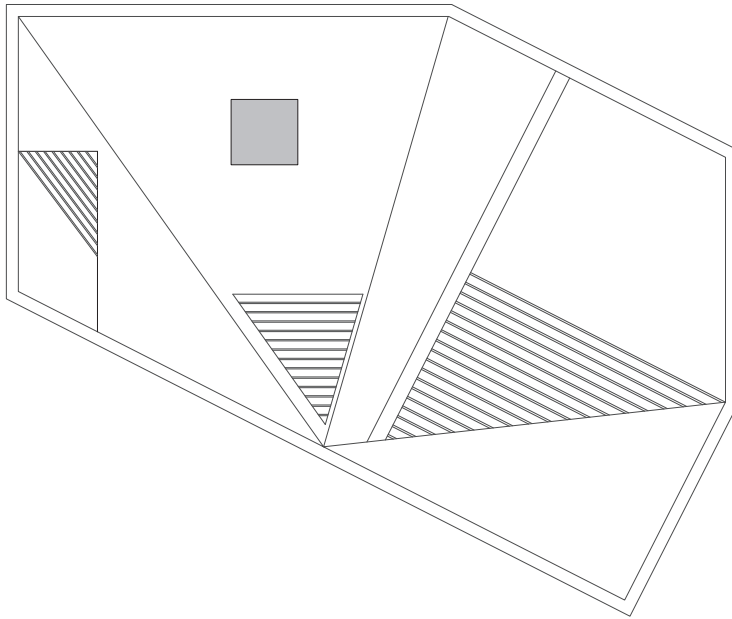


Level 15

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Scale	1:100	@ A1	Checked	MD
Drawn	DL			
Project No.	S12376			
Subj.	Design Application			
Proj. Date	24/01/2023 10:14 PM			
BM				
Drawing No.	D1A.TP.04.15			Revision
				C

LEP ENVELOPE



KEY PLAN

Notes

- All measurements and dimensions are to be taken to the center of the member unless otherwise specified.
- The internal performance values for windows and glass doors are to be in accordance with the data provided in the window and glass door schedule.
- Other requirements are to be in accordance with the relevant standards.

Legend - BASIX PLANS

- Property Boundary
- LEP Envelope
- High level Windows
- Insulation Requirements
- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Wall & Floor Accoustic Requirements
- CEILING Fan Requirements
- 2 x 1500mm ceiling fan
- CE2
- CE3
- CE4
- 1 x 1500mm ceiling fan
- 1 x 1500mm ceiling fan

Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor: **Juhi Banerji**
 Accreditation No.: **DMN/21/2042**

Address: **903-921 Bourke St, Waterloo, NSW, 2017**

6.3 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.nationwide.gov.au

<https://www.rfs.com.au/QRcode/Landing?PublicId=4WT-EQEV9QA&GpCert=1>

Legend - BASIX PLANS

- Property Boundary
- LEP Envelope
- High level Windows
- Insulation Requirements
- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Wall & Floor Accoustic Requirements
- CEILING Fan Requirements
- 2 x 1500mm ceiling fan
- CE2
- CE3
- CE4
- 1 x 1500mm ceiling fan
- 1 x 1500mm ceiling fan

Dahua
903 Bourke Street Waterloo
BASIX Set
Level 16-18

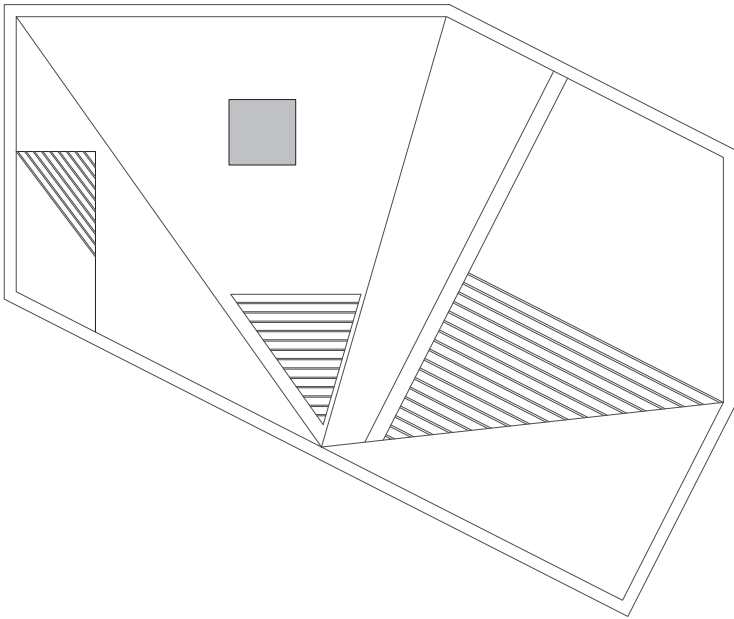


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 Drawn: DL Checked: MD
 Project No: S12376
 Subj: Design Application
 Plot Date: 24/01/2023 10:02 PM
 BIM

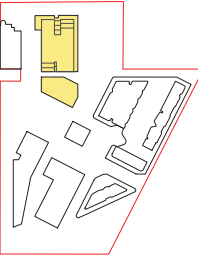
Drawing No: **D1A.TP.04.16**
 Revision: **C**

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BATESSMARTTM



KEY PLAN



Level 19

Dahua
903 Bourke Street Waterloo

Scale @ A1
Checked
Author
Project No. S12376
Subst. Design Application
Plot Date 24/10/2023 2:05:4 PM
BM



Level 19

Drawn by: [Name]
Checked by: [Name]
Author: [Name]
Project No: [Number]
Subst: [Type]
Plot Date: [Date]
BM: [Code]

Revision A

Notes

- All measurements and dimensions are to be taken to the center of the member unless otherwise specified.
- The internal performance values for windows and glass doors are to be in accordance with the current National Energy Rating Scheme (NERS).

Legend - BASIX PLANS

- Property Boundary
- LEP Footprint
- High level Windows
- Insulation Requirements
- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Walls As Per Accredit. Requirements
- Glazing Panel Requirements
- CFR 2 x 1000mm ceiling air
- CFR 1 x 1000mm ceiling air
- CFR 1 x 1000mm ceiling air

Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor: **Juhi Banerji**
Accreditation No.: **DMN/21/2042**

Address: **903-921 Bourke St, Waterloo, NSW, 2017**

<https://www.nsw.gov.au/qrcode/Landing?PublicId=4WT-EQEV9QA&GpCert=1>

6.3 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
www.natwide.gov.au

Notes

Legend - BASIX PLANS

Scale @ A1

Checked

Author

Project No.

Subst.

Plot Date

BM

Revision

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Project No.

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Plot Date

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Author

Project No.

Subst.

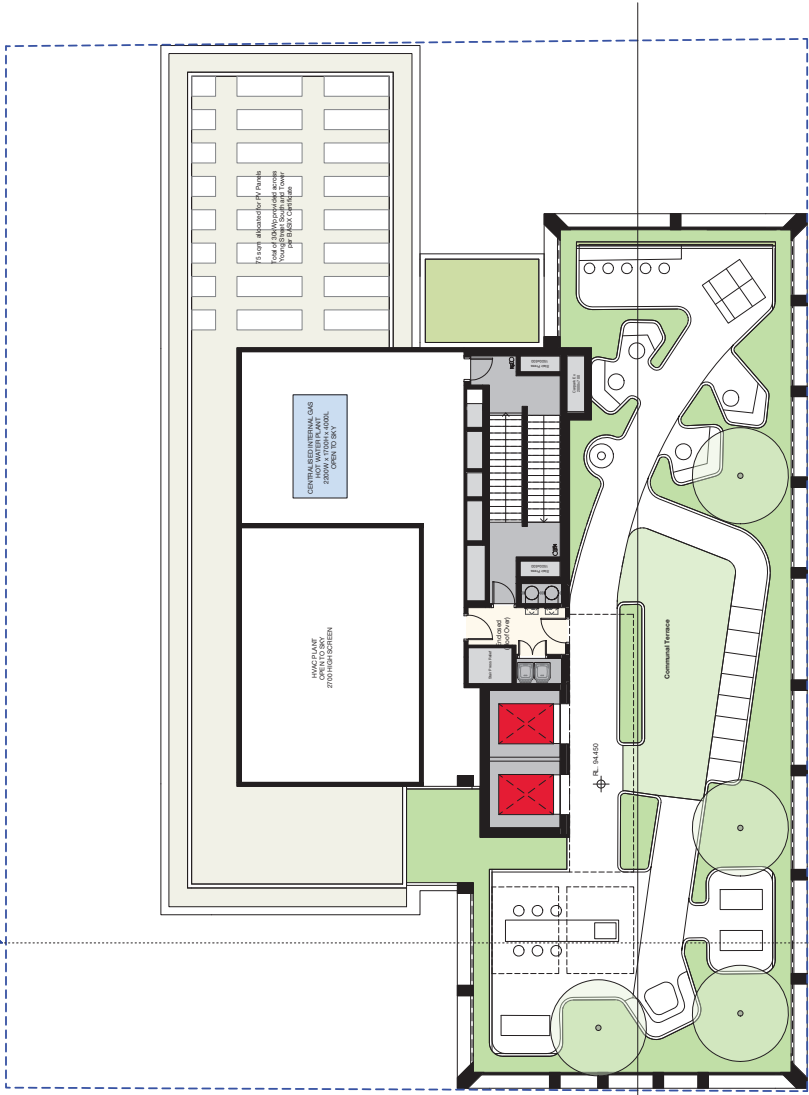
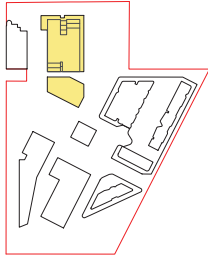
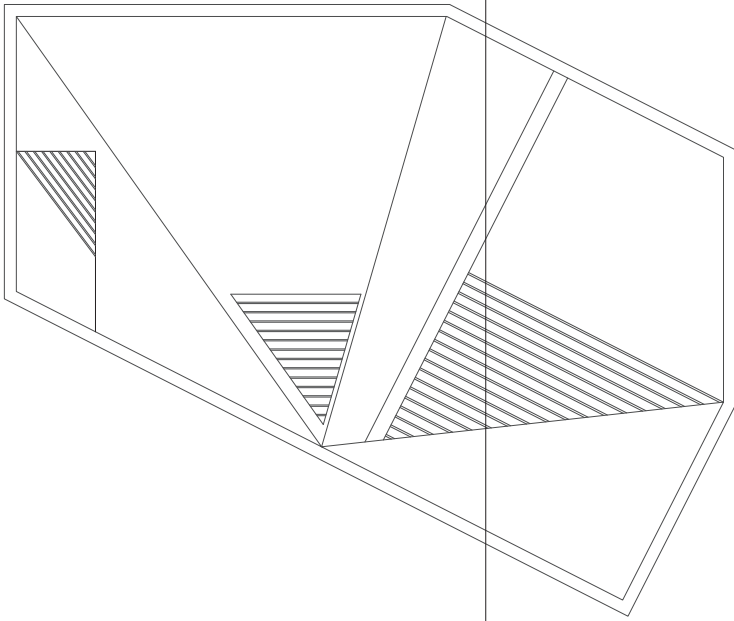
Plot Date

BM

Revision

Author

Project No.



Class 2 summary
4WTEQEV9QA 24/01/2023

Assessor Juhli Banerji
Accreditation No. DMN/21/2042

Address 903-921 Bourke St,
 Waterloo, NSW, 2017

https://www.nsw.gov.au/qrcodes/landing?PublicId=4WT-EQEV9QA&GpCent=1

6.3 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.nature.gov.au

Legend - BASIX PLANS

- Property boundary
- LEP Footprint
- High level Windows
- Insulation Requirements
- Total R2.0 to Roof/Ceiling
- Total R2.0 to Slab
- Total R2.0 to External Walls
- Internal Walls As Per Accr. Req. Requirements
- CE1 2 x 600mm ceiling insulation
- CE2 1 x 600mm ceiling insulation
- CE3 1 x 600mm ceiling insulation

Notes

- All measurements and calculations are taken in accordance with the requirements of the BASIX Act and the BASIX Regulations.
- The internal performance values for all windows and glass doors are to be in accordance with the CE1, CE2 and CE3 requirements.

KEY PLAN

Dahua
903 Bourke Street Waterloo
BASIX Set
Level 20 / Rooftop Garden



Scale	1:100	@ A1	Checked	MD
Drawn	DL	S12376	Design Application	
Project No.				
Sub No.				
Plot Date		24/01/2023 10:02 PM		
BM				

Drawing No. **D1A_TP_04_20**
 Revision **B**

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BATESSMARTTM

6.3
Average
star rating

NATIONWIDE
ENERGY RATING SCHEME

Assessor Juhi Banerji
Accreditation No. DMN/21/2042
Address 903-921 Bourke St,
 Waterloo,
 NSW, 2017

Class 2 summary
4WTEQE9QA 24/01/2023
[https://www.fr5.com.au/QRcodeLanding?PublicId=4WT
 EQEV9QA&GrpCent=1](https://www.fr5.com.au/QRcodeLanding?PublicId=4WT

 EQEV9QA&GrpCent=1)

Single Glazed Units

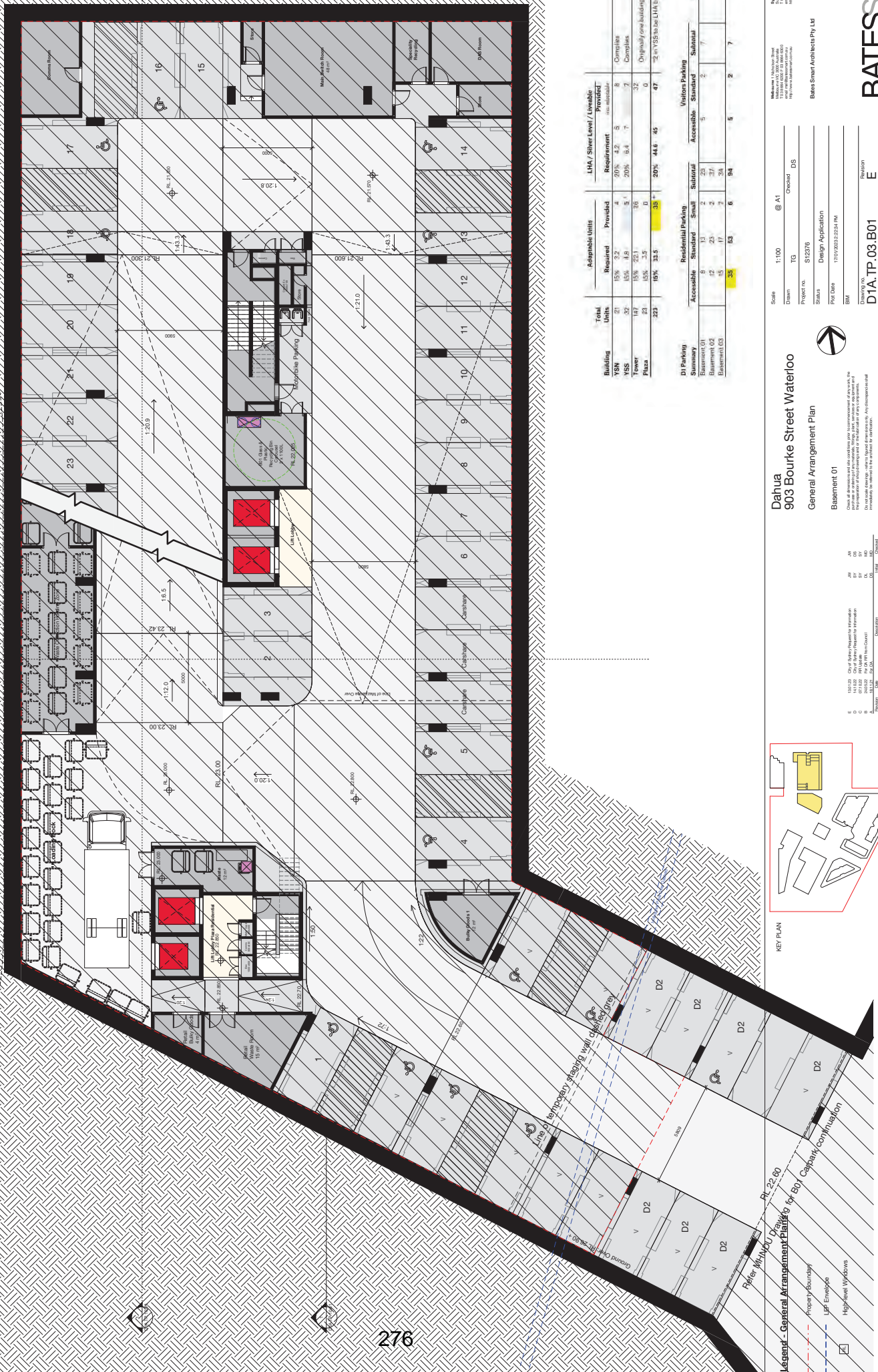
Buildings		SGU_Group 1	
Window Type	U value: SHGC:	D1A(T)	D1A(P)
Awning / Casement	U value: 5.6 SHGC: 0.36	G01, G02, G04, G05, G06, G09, 105, 201, 202, 204, 205, 206, 208, 209, 210, 211, 301 to 306, 309, 408, 508, 608, 708, 801, 802, 803, 806, 807, 808 201, 203, 204, 205 301, 304, 305 401, 404, 405 1001, 1002, 1003, 1006, 1007 1101, 1102, 1103, 1106, 1107 1201, 1202, 1203, 1206, 1207 1301, 1302, 1303, 1306, 1307 1401, 1402, 1403, 1601, 1602, 1604, 1606, 1701, 1702, 1703, 1704, 1706, 1801, 1802, 1804, 1806	101, 103, 104, 105
Fixed / Sliding	U value: 5.6 SHGC: 0.41		
Apartments			
SGU_Group 2		Apartments	
Awning / Casement	U value: 5.4 SHGC: 0.49	G03, 102, 104, 203, 308, 401, 402, 403, 406, 407, 501, 502, 503, 506, 507, 601, 602, 603, 606, 607, 701, 702, 703, 707, 904, 1004, 1104, 1204, 1304, 1406, 1505, 1506, 1603, 1605, 1705, 1803, 1805	102, 202, 302, 502
Fixed / Sliding	U value: 5.4 SHGC: 0.58		

Double Glazed Units

Buildings		D1A(T)		D1A(P)	
Window Type	U value: SHGC:	D1A(T)	D1A(P)	Window Type	U value: SHGC:
Apartments					
D1A_Group 1		Apartments		D1A_Group 2	
Awning / Casement	U value: 4.3 SHGC: 0.47	103, 207, 404, 405, 504, 505, 604, 605, 704, 705, 706, 804, 805, 905, 1005, 1105, 1205, 1305, 1404, 1503, 1903, 1904, 1905, 1906	402, 601	Fixed / Sliding	U value: 4.3 SHGC: 0.53
Apartments					
D1A_Group 2		Apartments		D1A_Group 2	
Awning / Casement	U value: 4.9 SHGC: 0.33	G07, G08, 101, 307, 310, 1405, 1407, 1501, 1502, 1504, 1901, 1902	504	Fixed / Sliding	U value: 4.9 SHGC: 0.33

All windows have been specified with weather-strips to prevent air infiltration when closed. This is standard compliance with AS2047.

Note: The thermal performance values for all windows detailed above are for glass and framing system combined.



Building	Total Units	Adaptable Units		LHA / Short Level / Livable					
		Required	Provided	Requirement	Provided				
YSN	21	15%	3.2	4	20%	4.2	5	8	Complies
KSS	32	15%	4.8	5	20%	6.4	7	7	Complies
Tower	187	15%	28.1	36	0	0	32	0	Originally new building in the PCP
Plaza	43	15%	6.5	0	0	0	0	0	22 m ² YSS to be LHA but not adaptable
Total	223	15%	32.9	35	20%	44.6	47	47	

D) Parking	Summary	Residential Parking		Visitors Parking	
		Accessible	Standard	Standard	Subtotal
Basement U01	8	13	2	23	3
Basement U2	12	23	2	7	3
Basement U3	15	17	2	34	7
Total	35	53	6	94	3

Dahua
903 Bourke Street Waterloo
 General Arrangement Plan

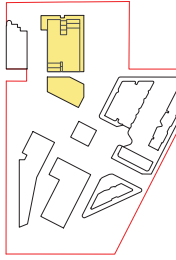


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 Drawn: TG
 Project No: S12376
 Site No: Design Application
 Plot Date: 10/10/2023 2:54 PM
 BM: 10000000000000000000

Checked: DS
 Revision: E

Bates Smart Architects Pty Ltd
 402 401 10 900

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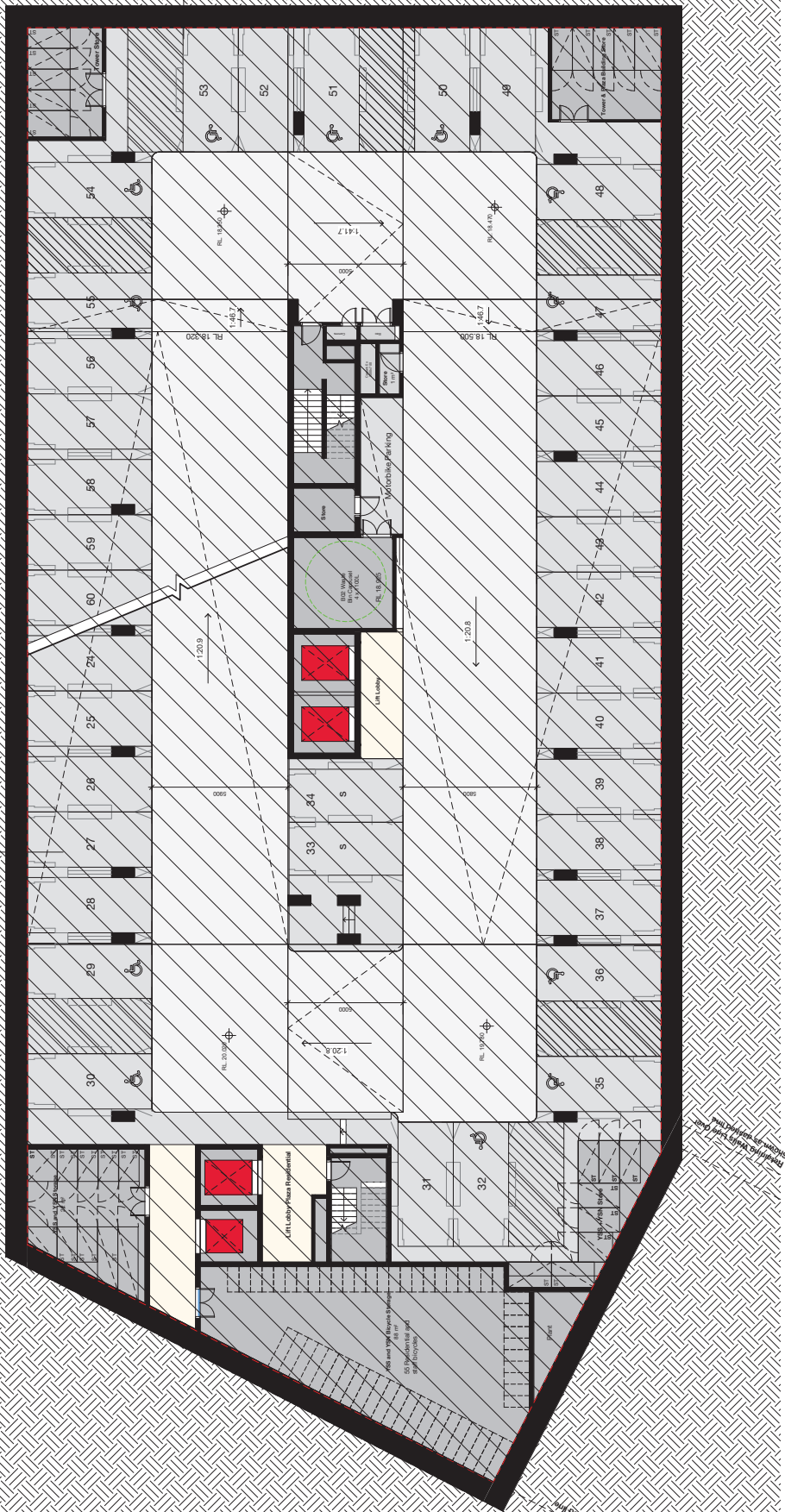
KEY PLAN

Legend - General Arrangement Plans for B01 Carpark continuation

- Proprietary boundary
- LIFT Envelope
- High level Windows

Notes:

- 1. 10/10/2023 City of Sydney Proposal for Information
- 2. 07/10/2023 801 Update
- 3. 07/10/2023 801 Update
- 4. 07/10/2023 801 Update
- 5. 07/10/2023 801 Update
- 6. 07/10/2023 801 Update
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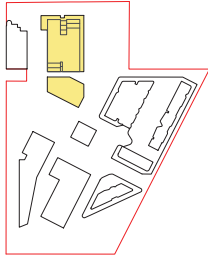
Legend - General Arrangement Plans

- Property Boundary
- LEP Envelope
- High-level Windows

Notes

All measurements and dimensions are taken to the center of all features unless otherwise indicated. All dimensions are to be in accordance with the current performance level for windows and doors as per AS/NZS 2047:2011. All dimensions are to be in accordance with the current performance level for windows and doors as per AS/NZS 2047:2011.

KEY PLAN



**Dahua
903 Bourke Street Waterloo
General Arrangement Plan**



Scale	1:100	@ A1	Checked	DS
Drawn	TG			
Project No.	S12376			
Sheet	Design Application			
Plot Date	17/01/2023 2:54:14 PM			
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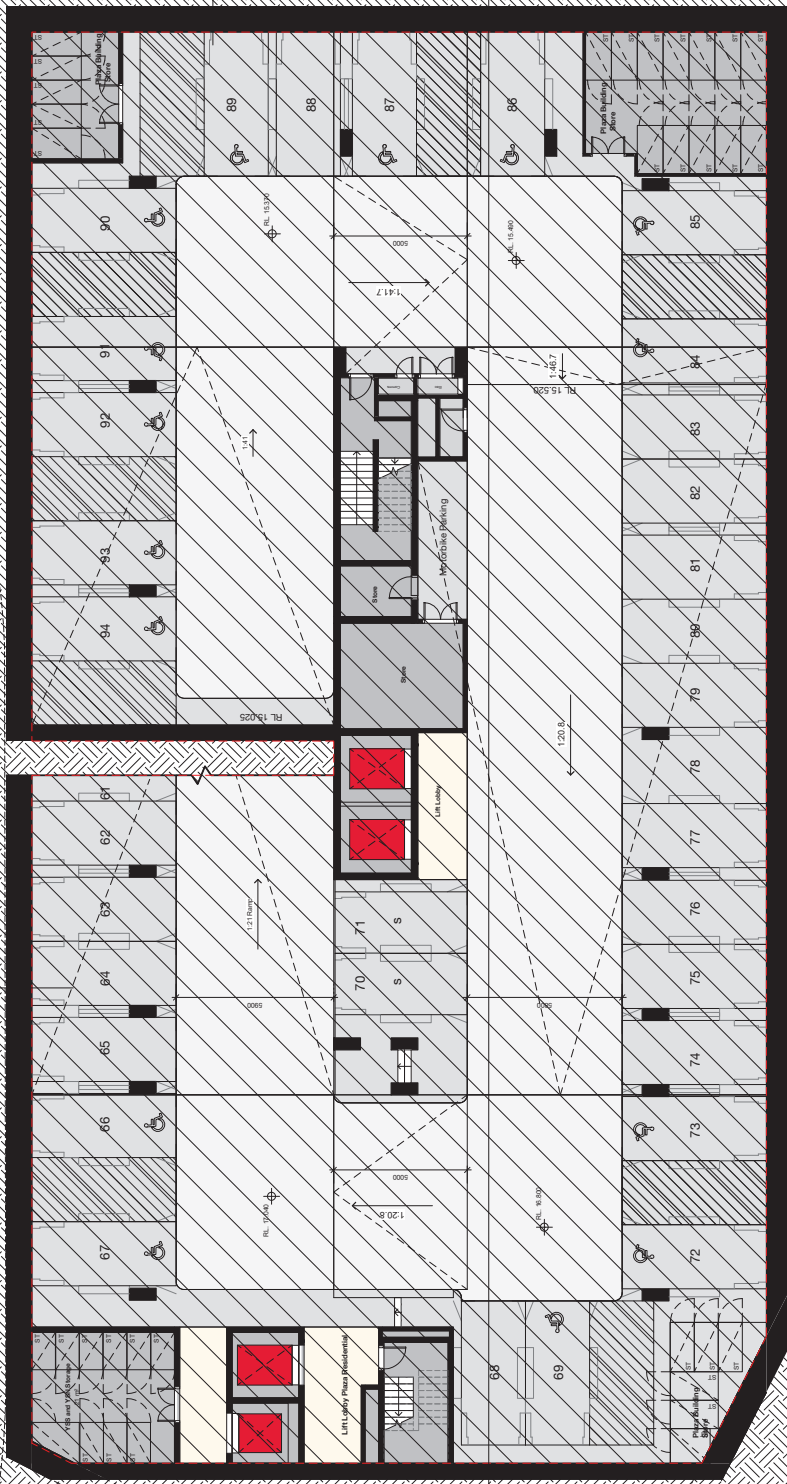
Basement 02

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REV	DATE	DESCRIPTION	BY	CHKD
1	17/01/2023	City of Sydney Request for Information	DS	DS
2	17/01/2023	Final Design Application	DS	DS
3	17/01/2023	Final Design Application	DS	DS
4	17/01/2023	Final Design Application	DS	DS

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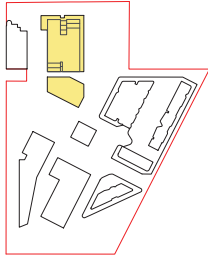
BATESSMART™



Legend - General Arrangement Plans

- - - Property Boundary
- - - LEF Envelope
- High-level Windows

KEY PLAN



Notes

All measurements and dimensions are taken unless otherwise specified. All dimensions are to the center of all features unless otherwise specified. All dimensions are to the center of all features unless otherwise specified. All dimensions are to the center of all features unless otherwise specified.

**Dahua
903 Bourke Street Waterloo
General Arrangement Plan**



Scale	1:100	@ A1	Checked	DS
Drawn	TG			
Project No.	S12376			
Sub-1	Design Application			
Plot Date	19/10/2023 2:56:4 PM			
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Drawing No. **D1A_TP_03_B03**
Revision **E**

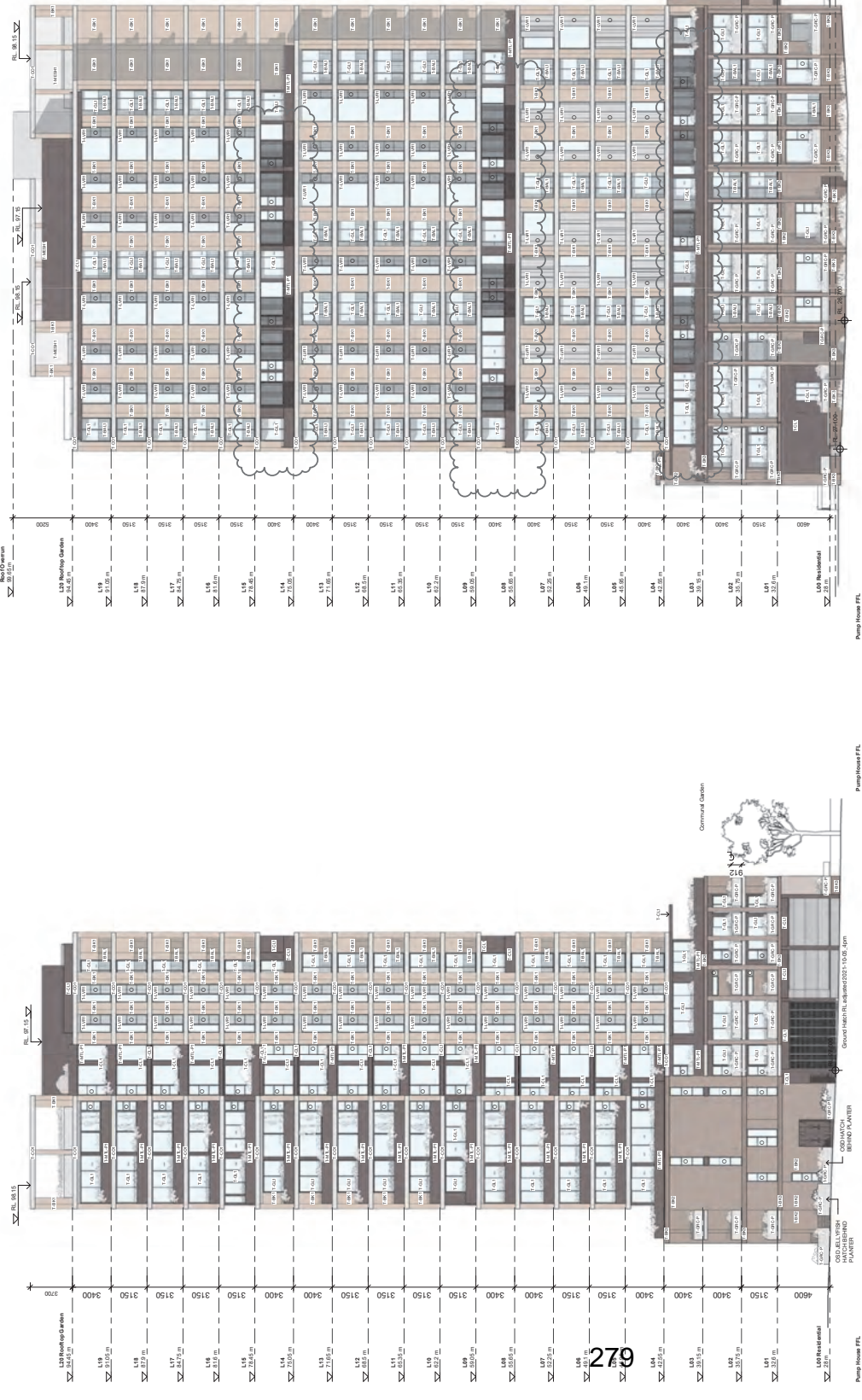
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Bates Smart Architect Pty Ltd
ABN 62 629 128 890

BATESSMART™

Code	Description
P-AWT	METAL AWNING & CLADDING IN MEDIUM BRONZE FINISH
P-BK4	BIRMANODO BLEND FACE BRICK IN PRESSED CLAY BRICK / 50MM DRY
P-GL3	BIRMANODO BLEND SYSTEMS IN CHARCOAL FINISH AND CLEAR VISION GLASS
P-GL4	STEEL FRAMED SHOP FRONTS WITH METAL AWNING / DOWN HOOD IN CHARCOAL FINISH
P-LVR3	FIXED VERTICAL LOUVRES IN CHARCOAL FINISH
P-MTL-P2	PLANTER BOX IN CHARCOAL FINISH
P-SOR1	HIT & MISS BRICK SCREEN / 60X60MM PERFORATED MESH LINING BEHIND WINDOW
P-SCORE	W/ OPERABLE SASH WINDOW BEHIND
T-BALT	METAL BALUSTRADES WITH FLAT FINISH

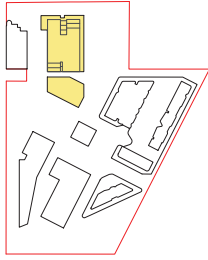
Code	Description
T-BK1	SIMMENTAL SILVER BRICK SLIPS IN TYPICAL TOWER FACADE PIERS
T-BK2	CONCRETE 50mm DRY PRESSED CLAY BRICK / SIMMENTAL SILVER
T-BK3	FACE BRICK WORK TO SOLDIER LEVELS
T-CL1	METAL CLADDING IN DARK BRONZE FINISH (SOPHIT TO 'REBATED')
T-COT	CONTINUOUS VERTICAL CORNER EDGE
T-GL1	WINDOW AND DOOR SYSTEMS IN VISION GLASS
T-GR-C-P	GRG PLANTERS WITH METAL HANDRAIL AT REAR FOR FALL PROTECTION
T-LVR1	AL LOUVRES IN CHAMPAGNE SILVER FINISH / 900MM W FULLY OPERABLE SASH WINDOW BEHIND
T-LVR2	AL LOUVRES IN CHAMPAGNE SILVER FINISH
T-MESH1	HIGHLY TRANSPARENT NET MESH TRELLIS WITH PLANTING / NET PROTECTION
T-MTL-P1	METAL PLANTER BOX WITH TENSILE WIRES IN DARK BRONZE / CHARCOAL FINISH



1 North Elevation (Tower) 1:200

2 West Elevation 1:200

KEY PLAN



Notes

- All measurements and elevations are taken to prevent the movement of air between requirements.
- The internal performance values for all windows and glazings are to be in accordance with the current minimum standards and performance values.

Dahua 903 Bourke Street Waterloo



North + West Elevations

Drawn by: [Name] / Checked by: [Name] / Project No: S12376 / Design Application: [Name] / Plot Date: 19/10/2023 10:42 AM / Scale: 1:200 @ A1 / Drawn: DL / Checked: MD

Rev	Description
1	Issue for Information
2	Issue for Approval
3	Issue for Construction



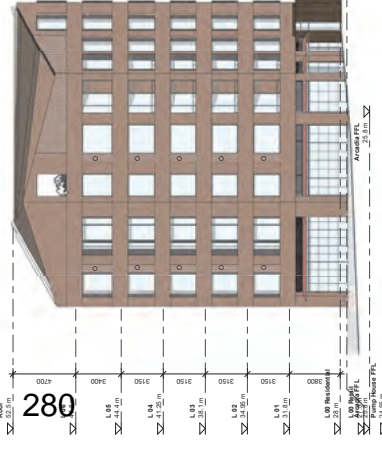
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Drawn	DL	Checked MD
Project No.	S12376	
Design Application	[Name]	
Plot Date	19/10/2023 10:42 AM	
Rev		
Revision		
Drawing No.	D1A.TP.09.01	
Revision	E	

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Code	Description
P-AW1	METAL AWNING & CLADDING IN MEDIUM BRONZE FINISH
P-BK4	FACE BRICK PERIS. 50MM DRY CONCRETE. 50mm HORY PRESSED BURWOOD BLEND
P-GL3	WINDOW AND DOOR SYSTEMS IN CHARCOAL FINISH AND CLEAR VISION GLASS
P-GL4	ALUMINIUM WINDOW HOOD IN METAL AWNING
P-LVR3	CHARCOAL FINISH COUVERES IN FINISH
P-MIL-P2	METAL PLANTER BOX IN CHARCOAL FINISH
P-SCR1	HT 3.6 MISS BRICK SCREEN/ W OPERABLE WINDOW
P-SCR2	HT 3.6 MISS BRICK SCREEN 830MM W OPERABLE WINDOW
T-BAL1	METAL BALLUSTAIRS WITH FLAT FINISH

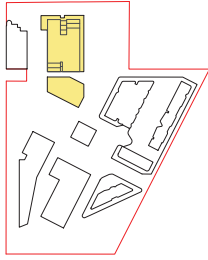
Code	Description
T-BK1	SIMMENTAL SILVER BRICK SLIPS IN MEDIUM BRONZE FINISH 400MM DEEP PERIS BRICK SLIPS EMBEDDED IN PRECAST CONCRETE. 50mm HORY PRESSED BURWOOD BLEND
T-BK2	BOWRA BROWN BRICK IN TOWER PRESSED CLAY BRICK/BOWRA
T-BK3	FACE BRICK WORK TO SOLDIER COARSE BRICK HORIZONTAL
T-CL1	METAL CLADDING IN DARK BRONZE METAL SPLIT TO 'REBATE'
T-CO1	OFF-FORM CONCRETE CONTINUOUS HORIZONTAL EDGE 400MM HEIGHT
T-GL1	CONCRETE DOOR SYSTEMS IN DARK BRONZE FINISH AND CLEAR VISION GLASS
T-GRC-P	GRC PLANTERS WITH METAL PROTECTION - REAR FALL
T-LR1	FIXED VERTICAL LOUVRES IN CHAMPAGNE SILVER FINISH / BAR BALUSTERS IN DARK BRONZE WINDOW BEHIND
T-LVR2	FIXED VERTICAL LOUVRES IN CHAMPAGNE SILVER FINISH
T-MESH	HIGH TRANSPARENT NET MESH WITH 150MM SQUARE NET MESH ALSO TO ACT AS FALL PROTECTION
T-MIL-P1	METAL PLANTER BOX WITH TENSILE BRONZE/CHARCOAL FINISH



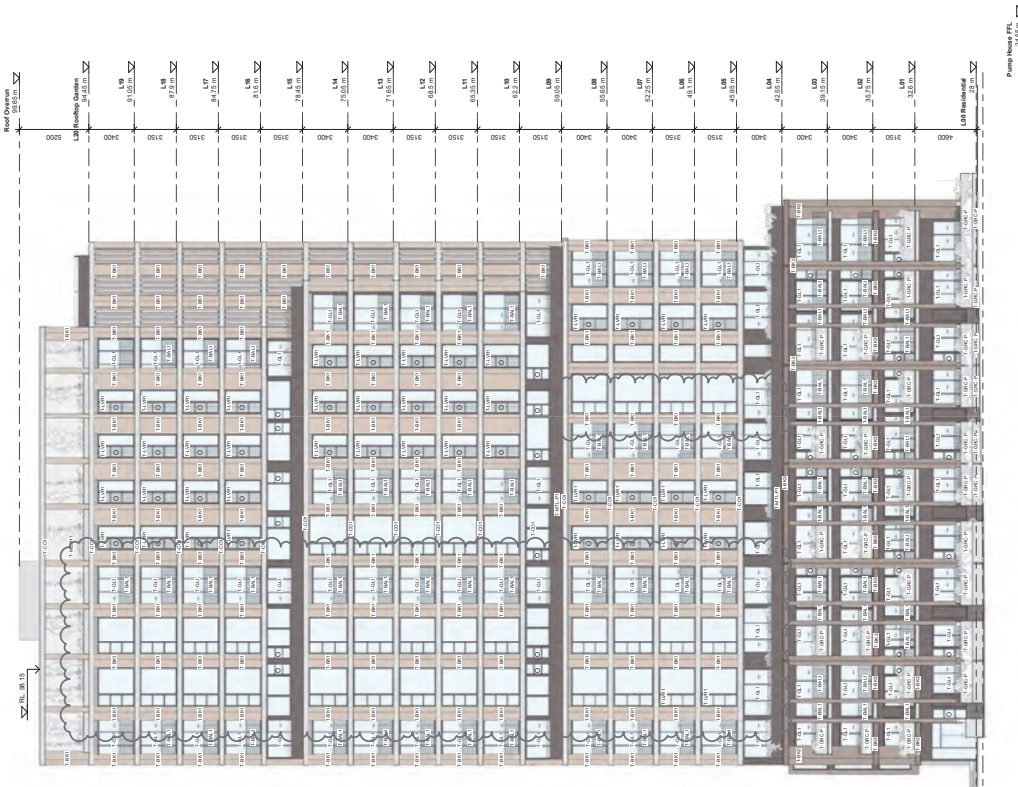
1 East Elevation 1:200

Notes

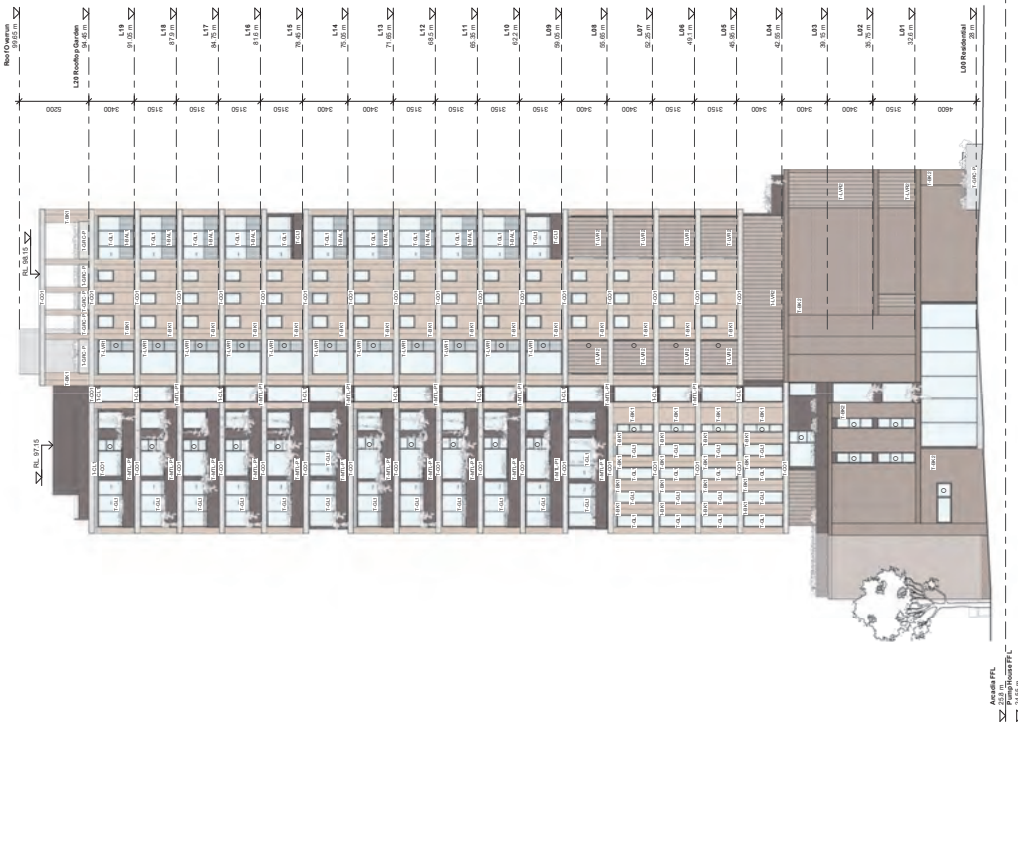
- All measurements and elevations are to be taken to the center of the window or door.
- The final performance value for all windows and glazings are to be in accordance with the current Australian Standard AS/NZS 4200:2012.



KEY PLAN



2 South Elevation (Tower) 1:200



Scale	1:200	@ A1	Checked	MD
Drawn	DL	Project No.	S12376	
Sheet No.	Design Application	Print Date	19/10/2024 10:57 AM	
BM		Revision	E	

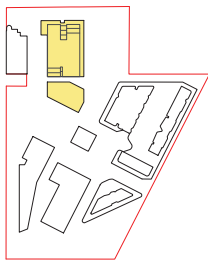
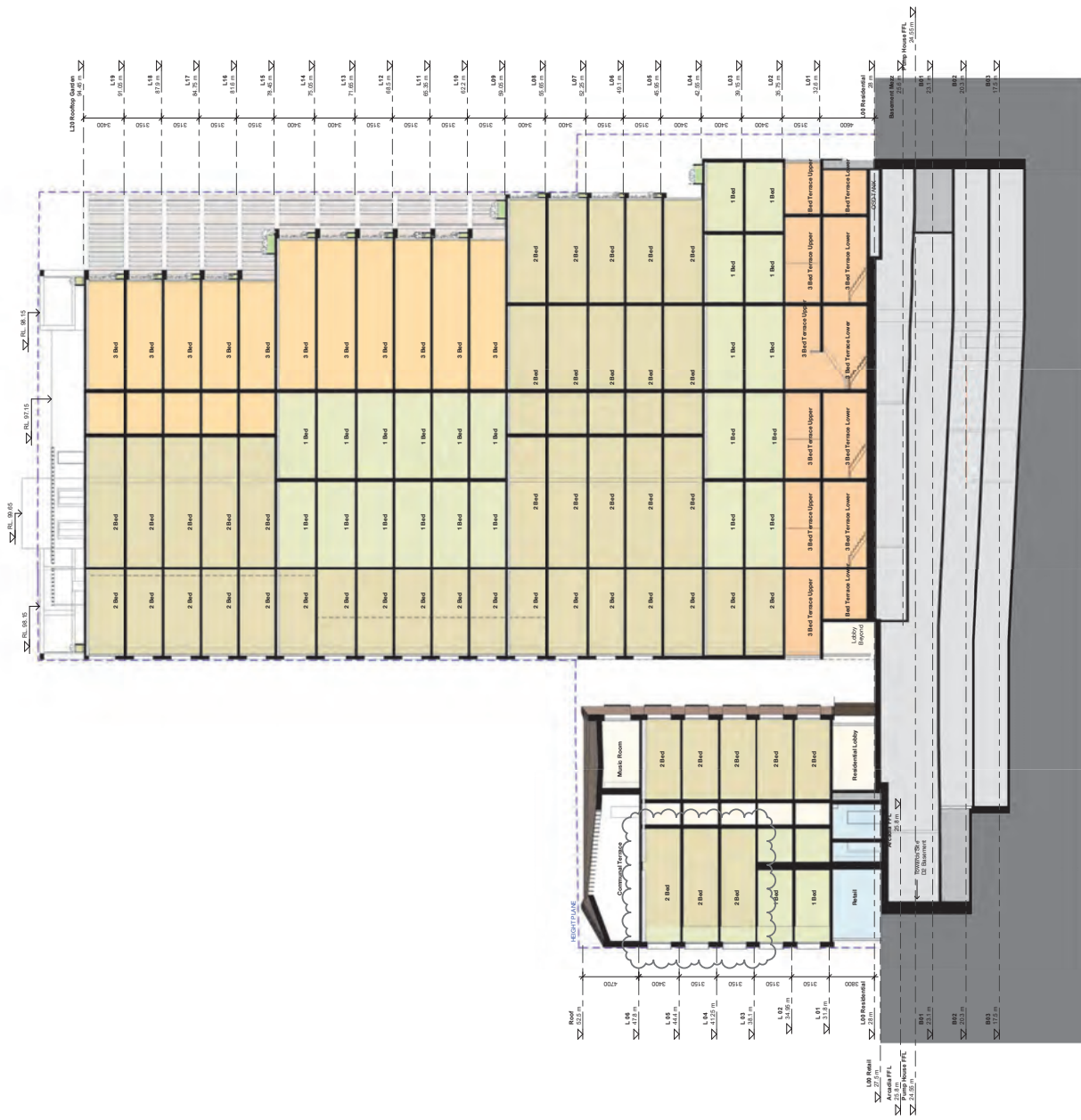
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South + East Elevation

Bates Smart Architects Pty Ltd

19/10/2024 10:57 AM

Revision: E



KEY PLAN

Notes

- All measurements and dimensions are to be made to prevent the movement of air between a room and the floor or ceiling, space, including with APERTURE and other.
- The internal performance values for all windows and glass doors are to be in accordance with the current minimum standards set out in AS/NZS 2062.

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Drawn	DL	Checked MD
Project No.	S12376	
Subj	Design Application	
Plot Date	19/10/2023 11:17 AM	
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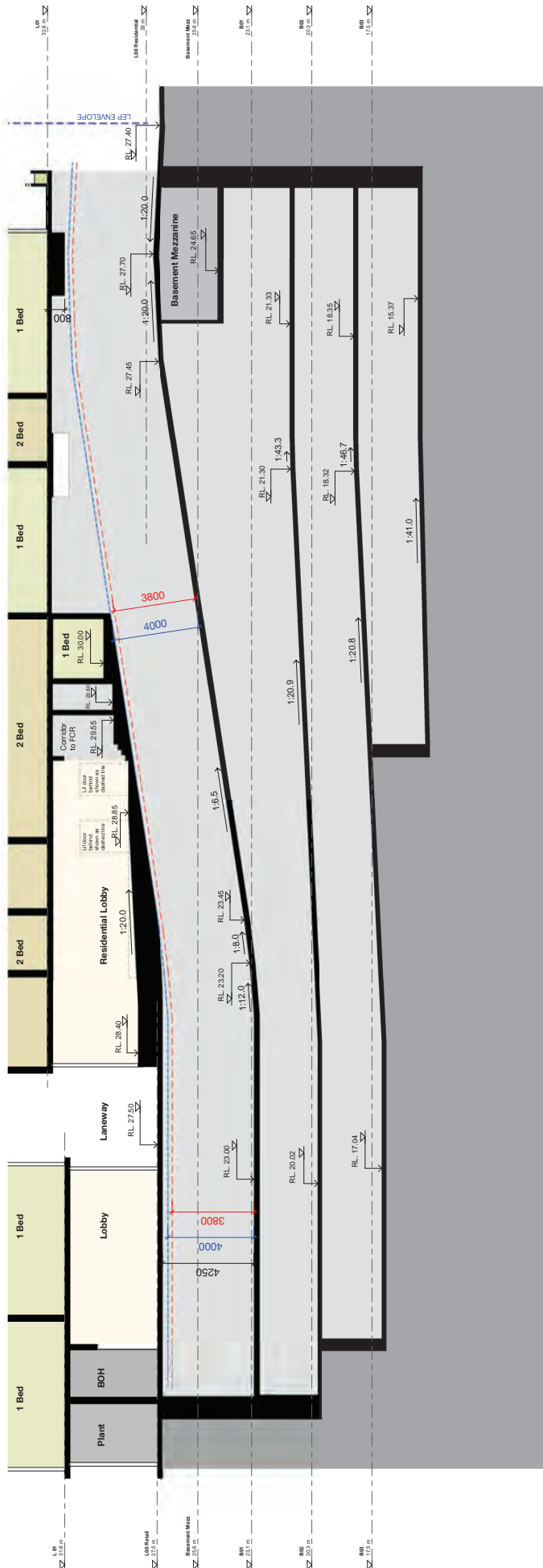
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 Project No: [Number]
 Subj: [Subject]
 Plot Date: [Date]

E	10/12/23	City of Sydney (Request for Information)	AM
D	14/12/22	City of Sydney (Request for Information)	BY
B	02/12/22	Market (City of Sydney (Request for Information))	DT
Approved	02/12/22	02/12/22	05

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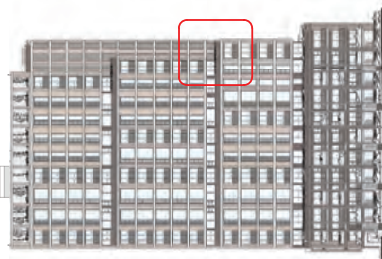
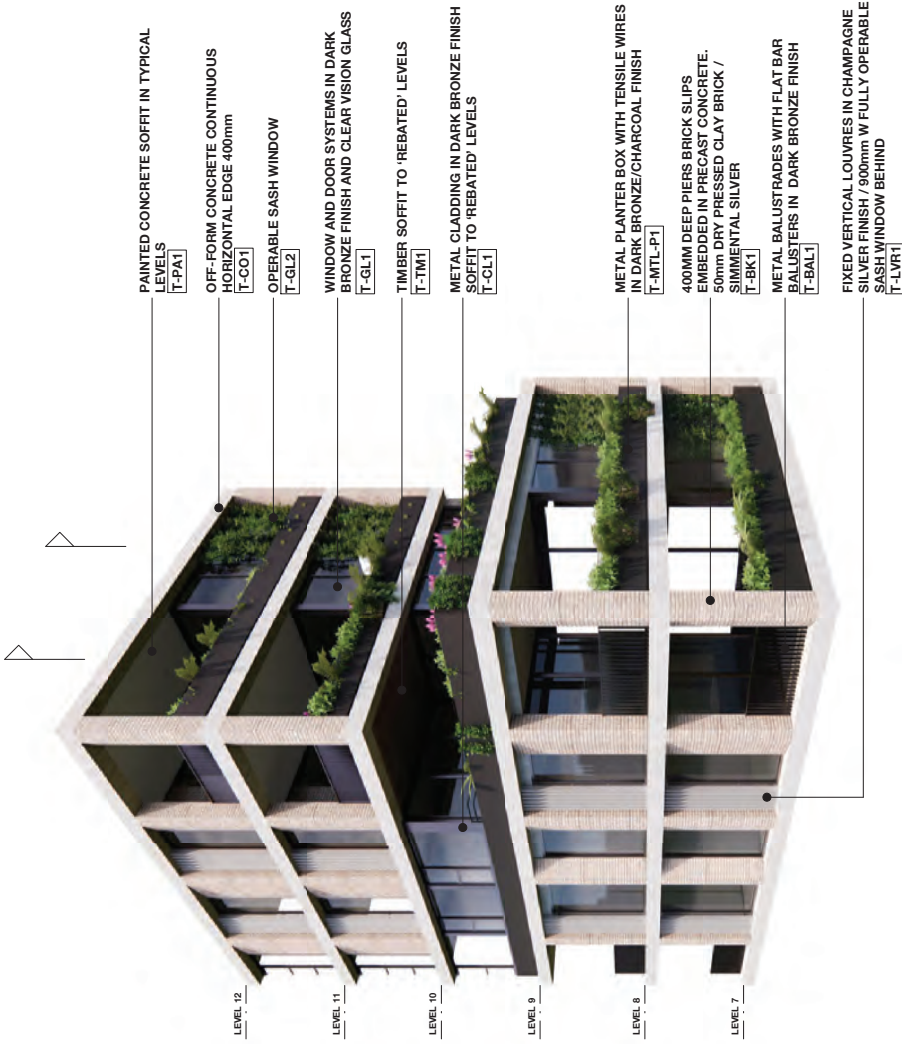
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 903 Bourke Street Waterloo

Basement Entry Section
 Drawing No: D1A.TP.10.03 A
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T-MESH2
Highly transparent net mesh trellis with planting / net mesh also to act as fall protection



T-BK1
50mm high Simmental Silver brick slips to Tower Building tower facade piers (not within podium)



T-CO1
Fix type: "horizontal" Off-form concrete to typical Tower expressed horizontals.



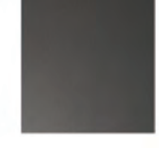
T-TM1
Rebated level balcony soffits in Timber



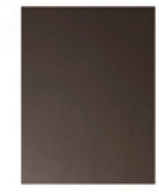
T-GL1
Clear vision glass for windows and doors



T-PA1
Typical balcony soffits in white painted finish



T-CL1
Charcoal aluminum framing to door, window, balustrade frames, and planter boxes in Plaza Building



T-MTL-P1
Dark Bronze aluminum framing to door, window, balustrade frames, and planter boxes in Tower

Dahua
903 Bourke Street Waterloo
Facade Types

Scale: @ A1
Drawn: Author
Project No: S12376
Sheet: Design Application
Print Date: 19/10/2022 15:57 PM
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112/77 www.batesSMART.com.au
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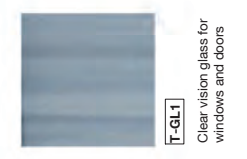
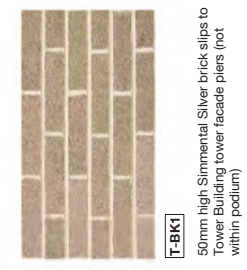
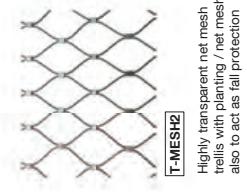
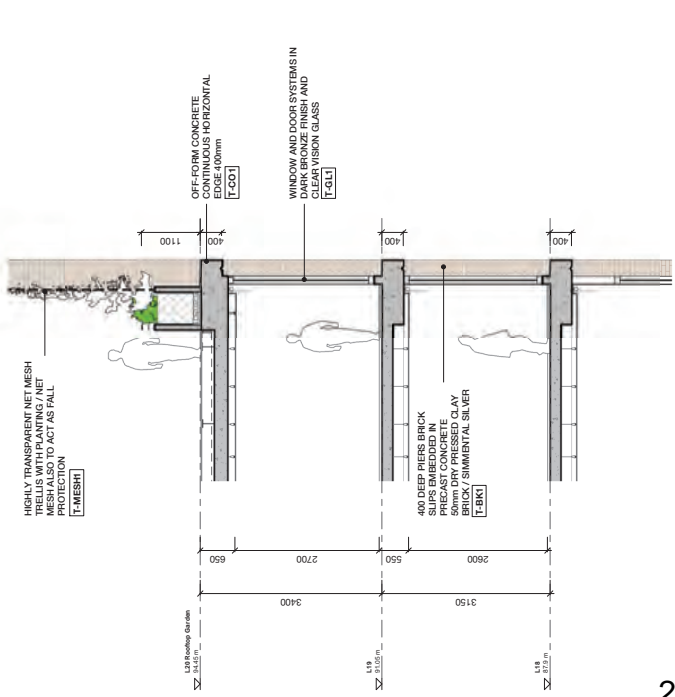
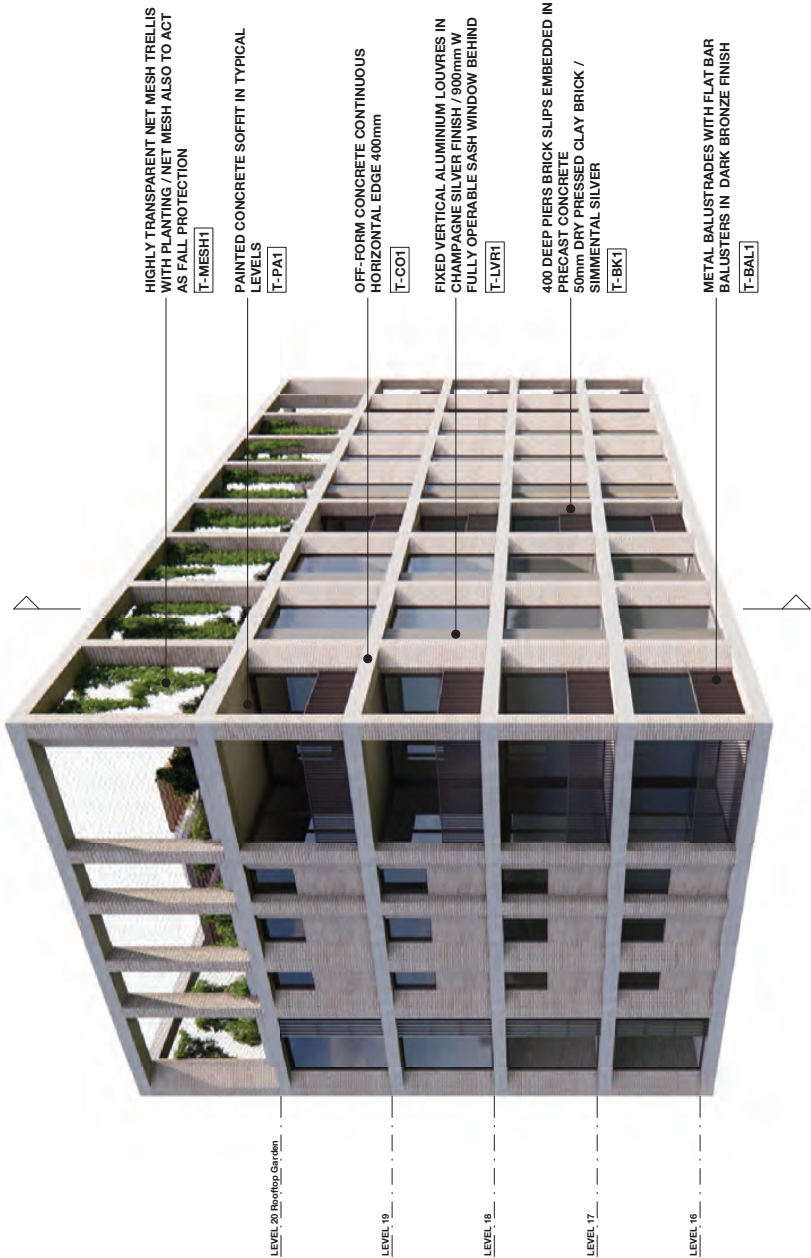
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Revision:

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Project No: S12376
Sheet: Design Application
Print Date: 19/10/2022 15:57 PM
BM

D 18.02.2022 Drawn: Author
C 14.02.2022 Drawn: Author
A 08.02.2022 Drawn: Author
Revision:

D1A.TP.11.01 D

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Dahua
903 Bourke Street Waterloo
 Facade Types
 Tower

Scale @ A1
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 Project No. S12376
 Sheet: Design Application
 Plot Date: 19/10/2022 10:58 PM
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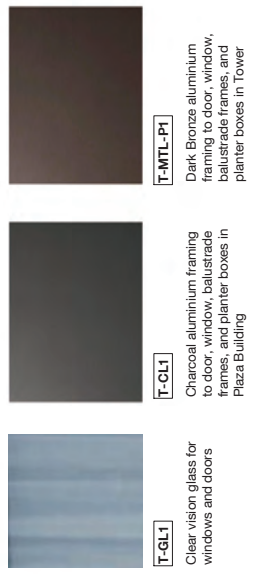
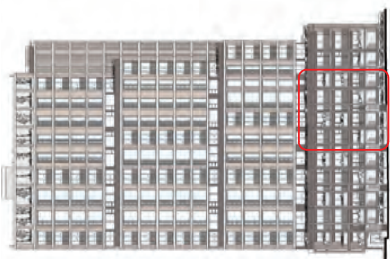
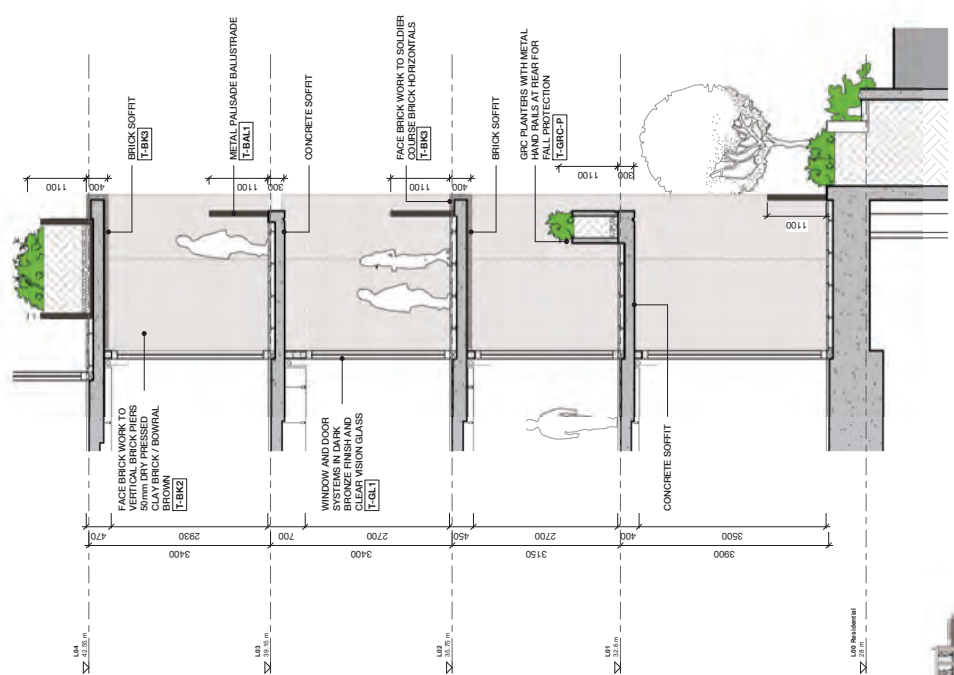
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 Checker: _____
 Drawing No.: _____
 Revision: _____

D 18.02.2022 Day of Issue Request for Information
 C 14.02.2022 Day of Issue Request for Information
 A 03.02.2022 Day of Issue Request for Information
 Approved: _____

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T-BK2
50mm high Bowral Brown face brick to Tower Building podium facade.

T-CO1
Fix type: "horizontal" Off-form concrete to typical Tower expressed horizontals.

T-GL1
Clear vision glass for windows and doors

T-CL1
Charcoal aluminum framing to door, window, balustrade frames, and planter boxes in Plaza Building

T-MTL-P1
Dark Bronze aluminum framing to door, window, balustrade frames, and planter boxes in Tower

Scale @ A1

Drawn	Author	Checked	Checker
Project no.	S12376		
Status	Design Application		
Plot Date	16/10/2023 5:55:15 PM		
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Revisory No. **D1A.TP.11.04 D**

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Facade Types

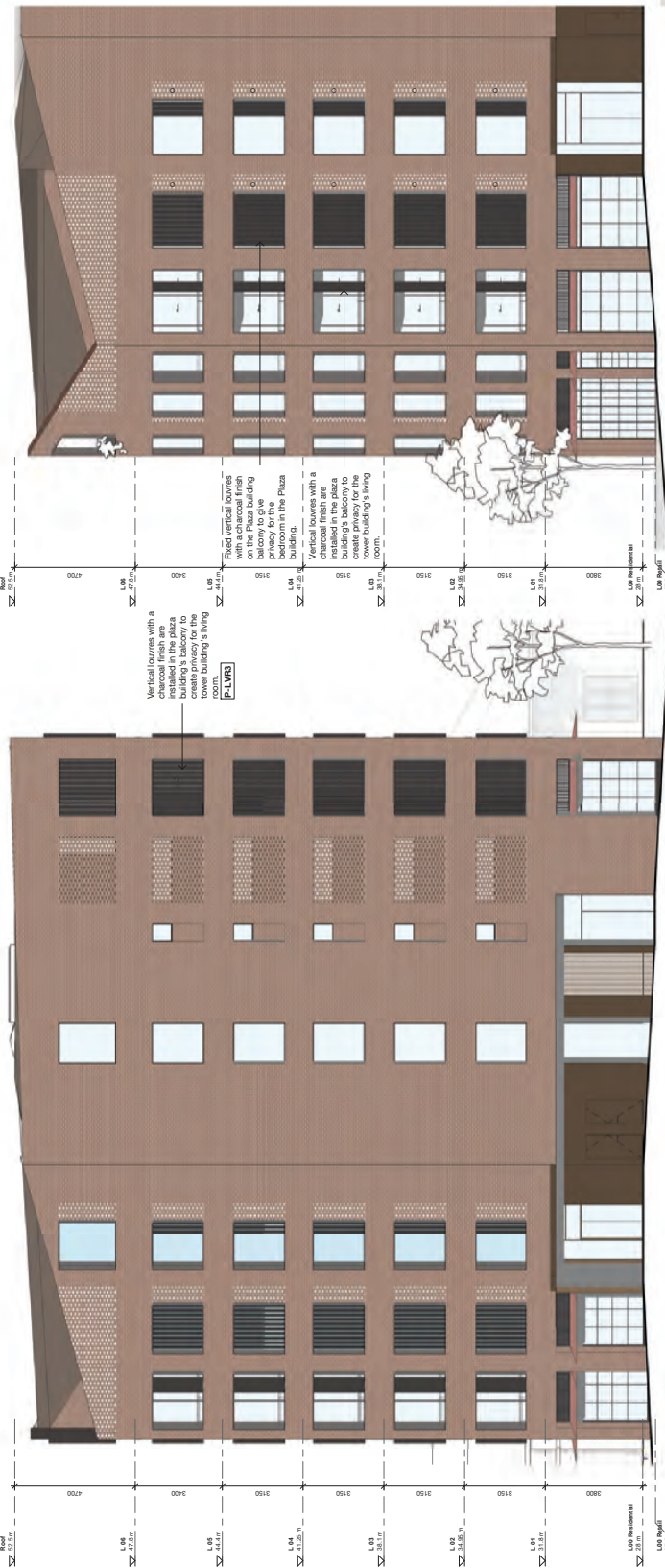
Podium

Check all details, notes and schedule items for completeness of design. This includes, but is not limited to, the following:
 - All drawings, notes, schedule items, specifications and requirements and for the entire project including any design changes.
 - On-site construction, construction management and quality control. Any discrepancies shall immediately be reported to the architect.
 - All drawings and notes shall be approved or deleted by the architect prior to construction.

D	16/10/23	City of Sydney Program for Innovation	BY		
C	01/10/23	City of Sydney Program for Innovation	BY		
Rev	01/10/23	City of Sydney Program for Innovation	BY		
Author	DM	City of Sydney Program for Innovation	BY		
Checked	DM	City of Sydney Program for Innovation	BY		

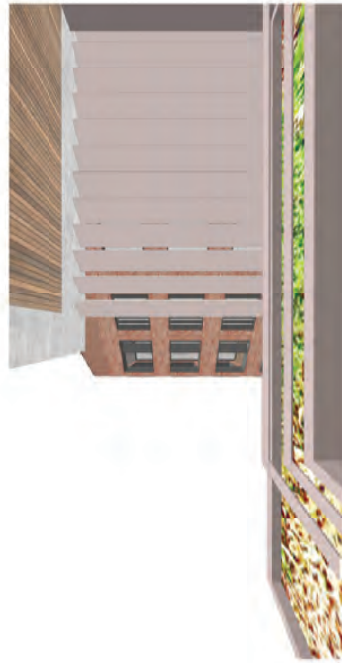


1 Level 4 Plaza Building 1:100



2 North Elevation (Plaza) 1:100

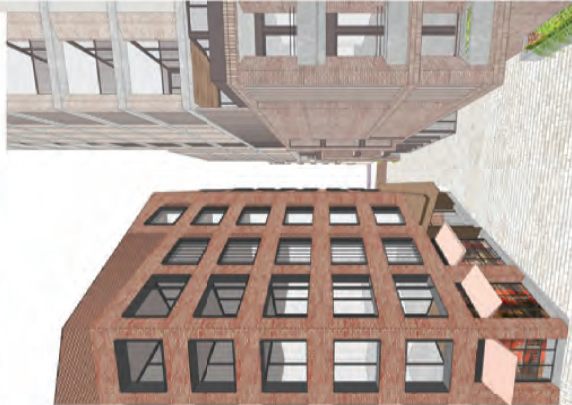
3 North East (Plaza) 1:100



View from level 4 tower to Plaza building



View from level 4 Plaza building balcony - North east



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Scale @ A1

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Project No.	S12376		
Sheet	Design Application		
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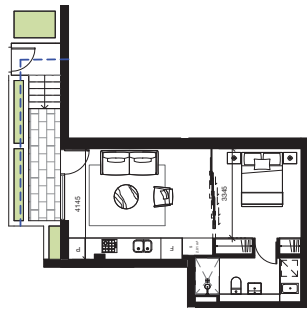
Plaza Building

19/10/2022 14:42:14

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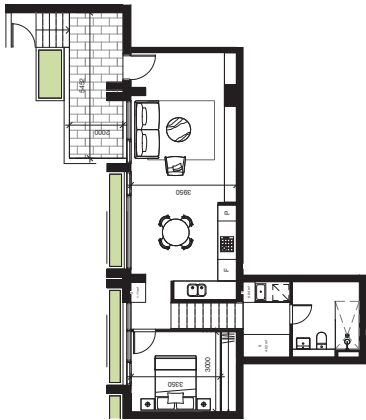
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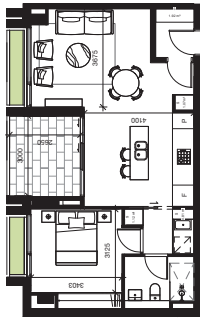
1 TW-S-A 1:100

TW-S-A Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-S-A	42 m ²	5 m ²	2.01 m ³		1	L01



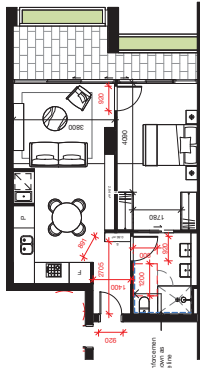
11 TW-1B-A 1:100

TW-1B-A Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-A	85 m ²	10 m ²	6.07 m ³		1	L00



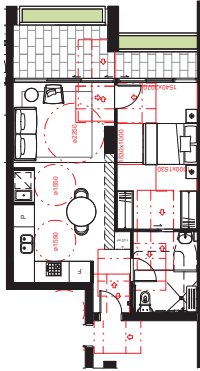
2 TW-1B-B 1:100

TW-1B-B Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-B	56 m ²	8 m ²	3.00 m ³		1	L00



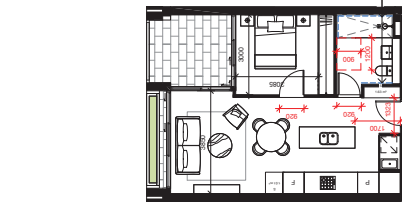
3 TW-1B-C PRE ADAPTION 1:100

TW-1B-C Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-C	55 m ²	10 m ²	3.70 m ³	Adaptable & Vastable	2	L01-L02



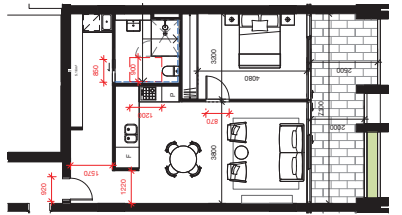
4 TW-1B-C POST ADAPTION 1:100

TW-1B-C Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-C	60 m ²	15 m ²	5.53 m ³		2	L02-L03



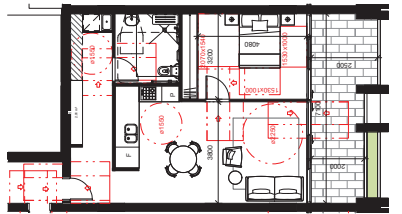
5 TW-1B-D 1:100

TW-1B-D Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-D	50 m ²	8 m ²	3.14 m ³	Vastable	2	L01-L02



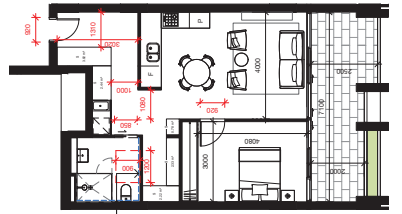
6 TW-1B-E PRE ADAPTED 1:100

TW-1B-E Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-E	62 m ²	15 m ²	5.16 m ³	Adaptable & Vastable	4	L02-L03



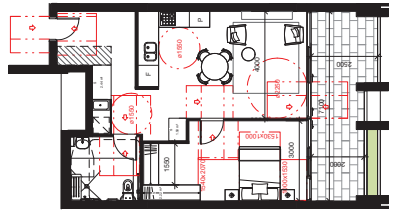
7 TW-1B-F POST ADAPTED 1:100

TW-1B-F Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-F	61 m ²	15 m ²	9.26 m ³	Adaptable & Vastable	2	L02-L03



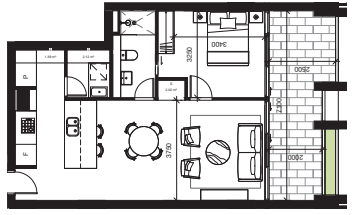
8 TW-1B-G PRE ADAPTED 1:100

TW-1B-G Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-G	60 m ²	15 m ²	5.53 m ³		2	L02-L03



9 TW-1B-H POST ADAPTED 1:100

TW-1B-H Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-H	60 m ²	15 m ²	5.53 m ³		2	L02-L03



10 TW-1B-G 1:100

TW-1B-G Apartment Type						
Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-1B-G	60 m ²	15 m ²	5.53 m ³		2	L02-L03

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- /Walls and joinery removed as needed allow for circulation zones
- /Kitchen island bench moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing portfolio
- /Conventional toilet replaced with accessible fixture
- /Removal of non-accessible fixtures and fittings
- /Accessible shower pan and drain mixer connected to plumbing and waste points provided
- /Accessible shower fittings connected to plumbing and waste points provided. /Grab rails installed into walls with tracing as easy provided.

Notes

- All roomed signs and ceiling panels are to be sealed to prevent the movement of air between rooms
- This project performance was for all windows and doors are to be in accordance with the design performance and details of drawings to be used for construction

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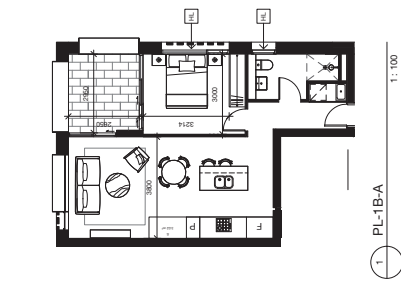
1 Bed Apartment Plans Sheet 1

Scale: 1:100 @ A1
Drawn: DL Checked: MD
Project No: S12376
Sheet: Design Application
Print Date: 14/10/2022 10:52 PM
BIM

Drawing No: D1A.TP.13.100 C

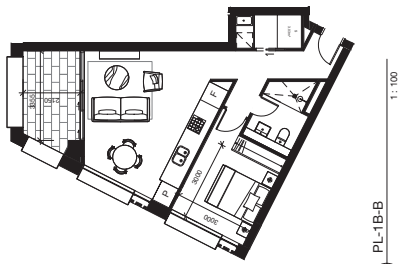
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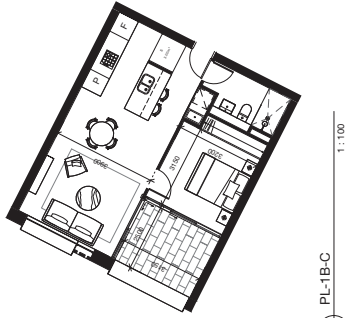
1 PL-1B-A 1:100

PL-1B-A Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
PL-1B-A	51 m ²	8 m ²	3.02 m ³		L01-L03
					5



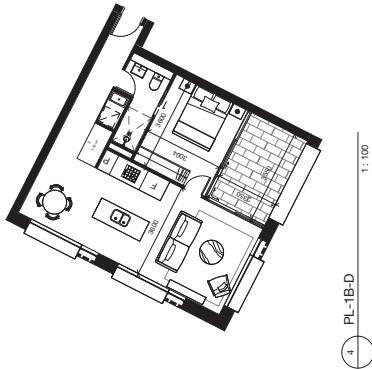
2 PL-1B-B 1:100

PL-1B-B Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
PL-1B-B	51 m ²	8 m ²	3.03 m ³		L01-L02
					2



3 PL-1B-C 1:100

PL-1B-C Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
PL-1B-C	50 m ²	8 m ²	3.00 m ³		L01-L02
					2



4 PL-1B-D 1:100

PL-1B-D Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
PL-1B-D	52 m ²	8 m ²	3.02 m ³		L01-L05
					2

Legend - Apartment Plans

High-level Windows

General Requirements for Conversion to Adaptable Layout

- /Walls and joinery removed as needed allow for circulation zones
- /Kitchen island bench moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing pointed
- /Conventional toilet replaced with accessible fixture
- /Removal of non-accessible fixtures and fittings
- /Accessible basin and drain mixer connected to plumbing and waste points provided
- /Accessible shower fittings connected to plumbing and waste points provided.
- /Grip rails installed into walls with tracing already provided.

Notes

All reserved signs and ceiling panels are to be fixed to prevent the movement of air between the ceiling panels and ceiling panels or ceiling lights. In accordance with the fire distribution requirements.

This general information is for all windows and doors are to be in accordance with the design requirements for fire and safety.

**Dahua
903 Bourke Street Waterloo**



1 Bed Apartment Plans Sheet 3

Drawn by: [Name] / Checked by: [Name] / Project No: S12376 / Design Application: 19/01/2023/145/01/PM / Rev: 01 / Date: 14/12/22 / Drawn by: [Name] / Checked by: [Name] / Project No: S12376 / Design Application: 19/01/2023/145/01/PM / Rev: 01 / Date: 14/12/22

Scale	1:100	@ A1
Drawn	DL	Checked MD
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Sub No.	Design Application	
Print Date	19/01/2023/145/01/PM	
BM		

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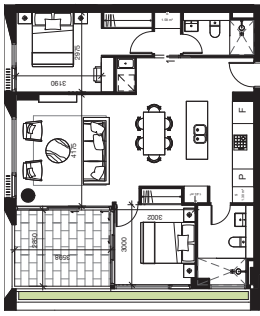
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100/101 Bourke Street
Sydney NSW 2000 Australia
Phone: +61 2 9231 1000
Fax: +61 2 9231 1001
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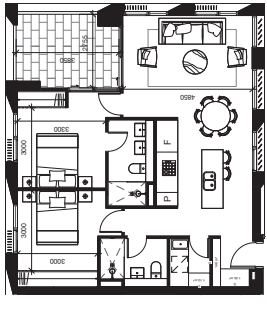
1 TW-2B-T-T 1:100

TW-2B-T-T Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2B-T-T	76 m ²	4.33 m ³	1 L14



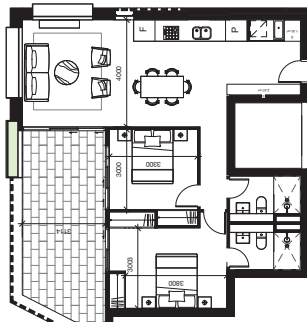
2 TW-2B-T 1:100

TW-2B-T Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2B-T	78 m ²	4.33 m ³	5 L15-L19



5 TW-2B-V 1:100

TW-2B-V Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2B-V	77 m ²	4.50 m ³	5 L15-L19



9 PL-2B-B 1:100

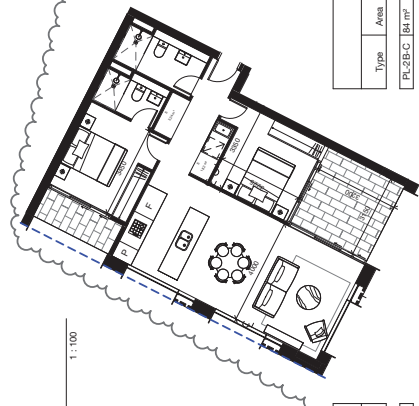
PL-2B-B Apartment Type			
Type	Area	Storage Volume	Comments Count Level
PL-2B-B	77 m ²	4.27 m ³	1 L08



7 TW-2BT-A-U 1:100

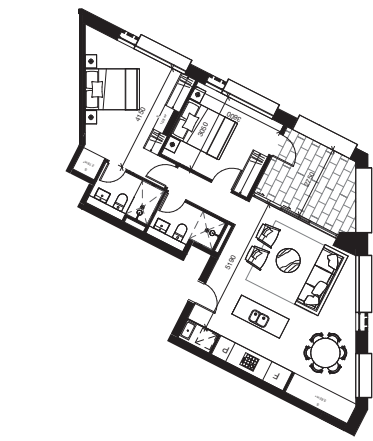
TW-2BT-A Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2BT-A-L	47 m ²	1.23 m ³	1 L00
TW-2BT-A-U	61 m ²	7 m ³	7 m ³

PL-2B-A Apartment Type			
Type	Area	Storage Volume	Comments Count Level
PL-2B-A	75 m ²	10 m ³	3 L03-L05



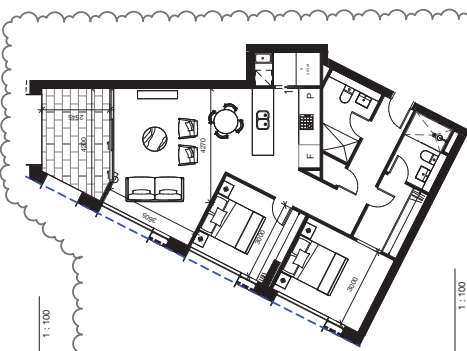
11 PL-2B-D 1:100

PL-2B-D Apartment Type			
Type	Area	Storage Volume	Comments Count Level
PL-2B-D	75 m ²	10 m ³	3 L03-L05



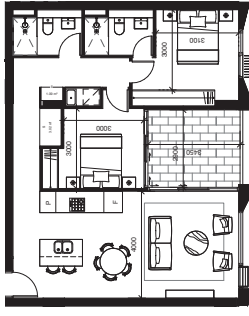
6 PL-2B-A 1:100

PL-2B-A Apartment Type			
Type	Area	Storage Volume	Comments Count Level
PL-2B-A	75 m ²	10 m ³	3 L03-L05



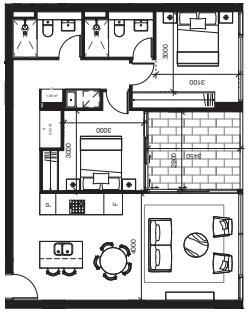
10 PL-2B-C 1:100

PL-2B-C Apartment Type			
Type	Area	Storage Volume	Comments Count Level
PL-2B-C	84 m ²	10 m ³	3 L03-L05



4 TW-2B-U 1:100

TW-2B-U Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2B-U	79 m ²	10 m ³	4 L16-L19



3 TW-2B-U-T 1:100

TW-2B-U-T Apartment Type			
Type	Area	Storage Volume	Comments Count Level
TW-2B-U-T	79 m ²	10 m ³	1 L15

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- Walls and joinery removed as needed allow for circulation zones
- Walls and joinery removed as needed allow for circulation zones
- Kitchen island moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing partition
- Conventional toilet replaced with accessible fixture
- Removal of non-accessible fixtures and fittings
- Accessible shower basin and drain mixer connected to plumbing and waste points provided
- Accessible shower fittings connected to plumbing and waste points provided.
- Garb rails installed into walls with tracing already provided.

Notes

- All reserved signs and ceiling panels are to be removed to permit the movement of air between rooms
- The general performance levels for all windows and glass doors are to be in accordance with the design requirements for the building as shown in Table 3.1.1.1

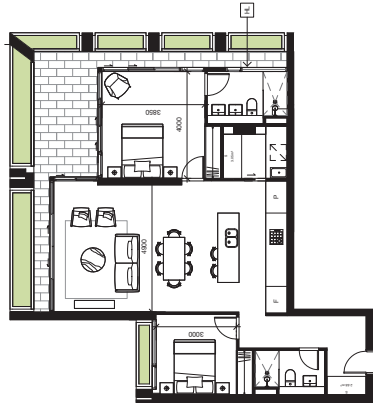
**Dahua
903 Bourke Street Waterloo**

2 Bed Apartment Plans Sheet 4

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 Project No: S12376
 Design Application
 Plot Date: 19/10/2023 10:55:14 AM
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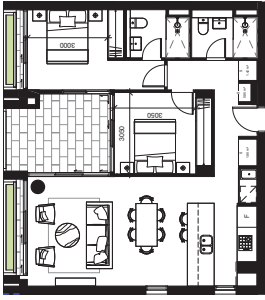


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 Project No: S12376
 Design Application
 Plot Date: 19/10/2023 10:55:14 AM
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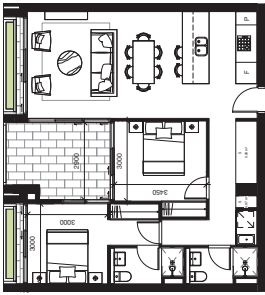
5 TW-2B-D 1:100

TW-2B-D Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
TW-2B-D	98 m ²	18 m ²	5.73 m ³		LD1-L02
					2



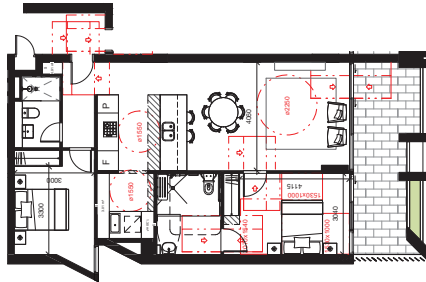
4 TW-2B-C 1:100

TW-2B-C Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
TW-2B-C	76 m ²	10 m ²	4.22 m ³		LD1-L02
					2

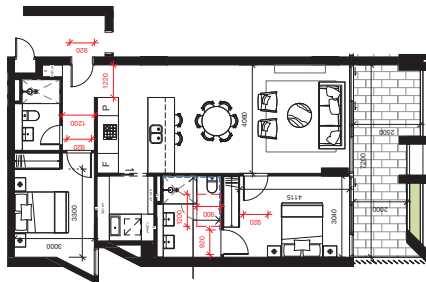


3 TW-2B-B 1:100

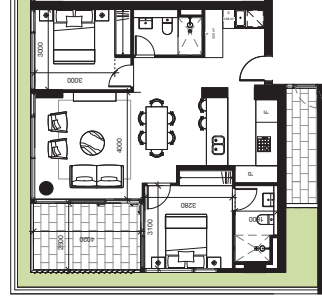
TW-2B-B Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
TW-2B-B	76 m ²	10 m ²	6.05 m ³		LD1-L02
					2



7 TW-2B-E POST ADAPTION 1:100

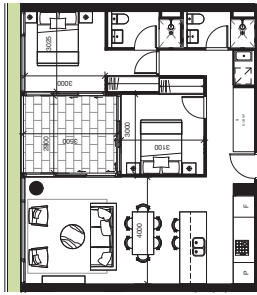


6 TW-2B-E PRE ADAPTION 1:100



9 TW-2B-G 1:100

TW-2B-G Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
TW-2B-G	75 m ²	10 m ²	4.15 m ³		LD1-L02
					1



8 TW-2B-F 1:100

TW-2B-F Apartment Type					
Type	Area	Balcony Area	Storage Volume	Comments	Level
TW-2B-F	75 m ²	10 m ²	5.13 m ³		LD1-L02
					1

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- Walls and joinery removed as noted allow for circulation zones
- Kitchen island moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing portfolio
- Conventional toilet replaced with accessible fixture
- Removal of non-accessible fixtures and fittings
- Accessible shower basin and basin mixer connected to plumbing and waste points provided
- Accessible shower fittings connected to plumbing and waste points provided.
- Grate rails installed into walls with tracing as eedy provided.

Notes

- All required sign and safety permit work items to be sealed to prevent the movement of air between a room and the outside air.
- This general performance was for all windows and glass doors are to be in accordance with the Building Performance Code for Energy Use and Greenhouse Gas Emissions.

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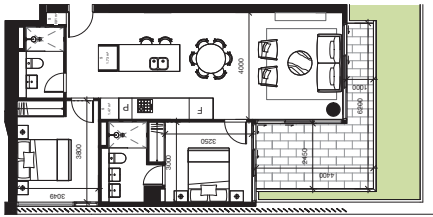
**Dahua
 903 Bourke Street Waterloo**

2 Bed Apartment Plans Sheet 1

At present proposed for construction. All dimensions and levels are subject to change without notice. All dimensions and levels are subject to change without notice. All dimensions and levels are subject to change without notice.

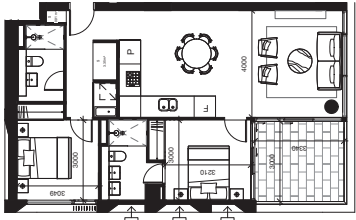
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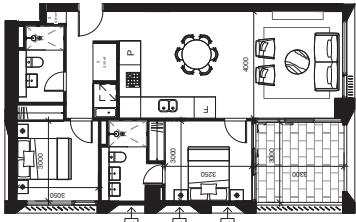
1 TW-2B-H-T1 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-H-T1	74 m ²	14 m ²	4.11 m ³			1	L04



2 TW-2B-H-T2 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-H-T2	74 m ²	10 m ²	4.11 m ³			2	L04, L15



3 TW-2B-H 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-H	74 m ²	10 m ²	4.11 m ³			13	L05-L08, L14-L15, L16-L18



4 TW-2B-I-T 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-I-T	76 m ²	20 m ²	4.90 m ³			1	L04



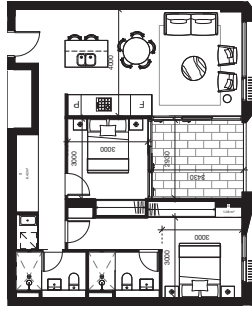
5 TW-2B-I 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-I	76 m ²	10 m ²	4.90 m ³			4	L05-L08



12 TW-2B-J-T 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-J-T	76 m ²	20 m ²	6.42 m ³			1	L04



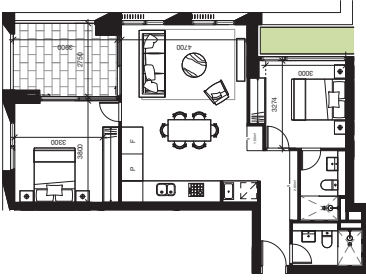
11 TW-2B-J 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-J	76 m ²	10 m ²	6.40 m ³			4	L05-L08



9 TW-2B-K 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-K	75 m ²	10 m ²	4.53 m ³			4	L05-L08



10 TW-2B-L 1:100

Type	Area	Balcony Area	Storage Area	Volume	Comments	Count	Level
TW-2B-L	74 m ²	10 m ²	4.30 m ³			4	L04-L07

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- /Walls and joinery removed as noted allow for circulation zones
- /Kitchen island moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing portfolio
- /Conventional toilet replaced with accessible fixture
- /Removal of non-accessible fixtures and fittings
- /Accessible shower fittings connected to plumbing and waste points provided
- /Cable rails installed into walls with tracing as eedy provided.

Notes

- All reserved sign and ceiling perimeter areas to be sealed to prevent the movement of air between a room and the exterior.
- The internal perimeter walls for all windows and glass doors are to be in accordance with the design requirements for glazing systems of class 3 or 4.

**Dahua
903 Bourke Street Waterloo**

2 Bed Apartment Plans Sheet 2

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 Project No: S12376
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 Prof Date: 14/10/2021 10:45 PM
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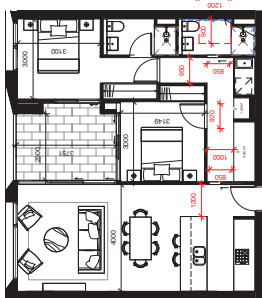


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Sheet	Design Application	
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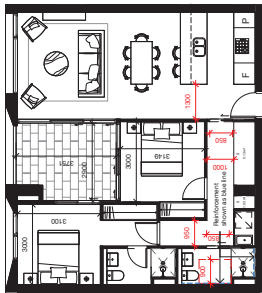
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1 TW-2B-M

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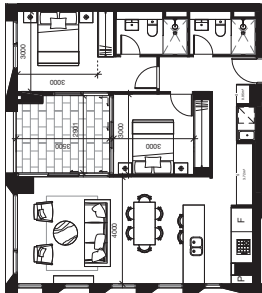
TW-2B-M Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-M	77 m ²	6.16m ³	3 LO4-LO5
TW-2B-M	77 m ²	6.16m ³	Variable 1 LO7



2 TW-2B-N

1:100

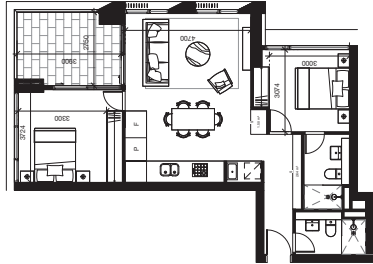
TW-2B-N Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-N	77 m ²	6.16 m ³	4 LO4-LO7
TW-2B-N	77 m ²	6.16 m ³	Variable 4 LO4-LO7



3 TW-2B-O

1:100

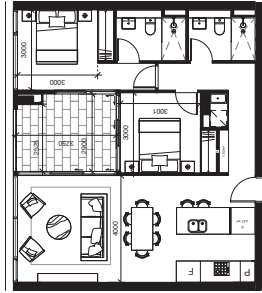
TW-2B-O Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-O	77 m ²	10 m ³	4 LO4-LO7
TW-2B-O	77 m ²	4.67 m ³	



4 TW-2B-P

1:100

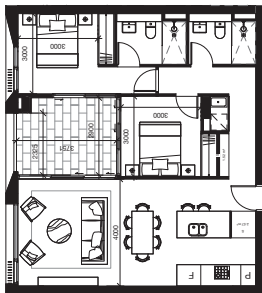
TW-2B-P Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-P	71 m ²	10 m ³	1 LO8
TW-2B-P	71 m ²	41.4 m ³	



5 TW-2B-Q-T

1:100

TW-2B-Q-T Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-Q-T	177 m ²	10 m ³	2 LO8, L14
TW-2B-Q-T	177 m ²	4.09 m ³	



6 TW-2B-Q

1:100

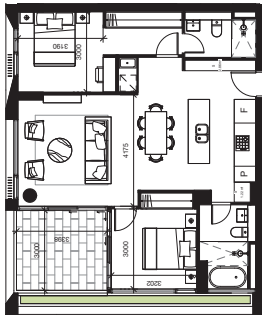
TW-2B-Q Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-Q	77 m ²	10 m ³	10 LO9-L13, L15-L19
TW-2B-Q	77 m ²	4.09 m ³	



7 TW-2B-R-T

1:100

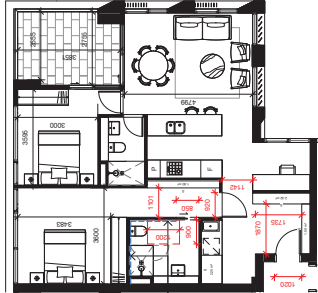
TW-2B-R-T Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-R-T	79 m ²	19 m ³	4 LO8 m ³
TW-2B-R-T	79 m ²	19 m ³	1 LO8



8 TW-2ER

1:100

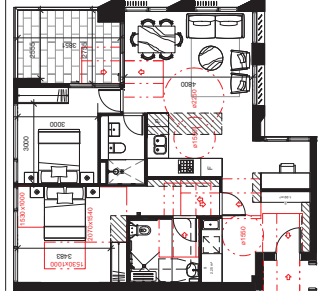
TW-2ER Apartment Type			
Type	Area	Storage Volume	Comments
TW-2ER	79 m ²	10 m ³	5 LO8-13
TW-2ER	79 m ²	4.06 m ³	



9 TW-2B-S-Pre Adaption

1:100

TW-2B-S Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-S	86 m ²	10 m ³	Adaptable & Variable 1 L14
TW-2B-S	86 m ²	6.18 m ³	



10 TW-2B-S-Post Adaption

1:100

TW-2B-S Apartment Type			
Type	Area	Storage Volume	Comments
TW-2B-S	86 m ²	10 m ³	Adaptable & Variable 1 L14
TW-2B-S	86 m ²	6.18 m ³	

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- Walls and joinery removed as needed allow for circulation zones
- High-level windows to be installed in circulation zones
- Kitchen island bench moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing pointed
- Conventional toilet replaced with accessible fixture
- Removal of non-accessible fixtures and fittings
- Accessible shower pan and drain mixer connected to plumbing and waste points provided
- Accessible shower fittings connected to plumbing and waste points provided
- Grate rails installed into walls with tracing as early provided.

Notes

- All reserved sign and ceiling panel area to be used to prevent the movement of air between rooms
- This project performance was for all windows and glass doors are to be in accordance with the design performance objectives of AS/NZS 4842:2012

Dahua 903 Bourke Street Waterloo

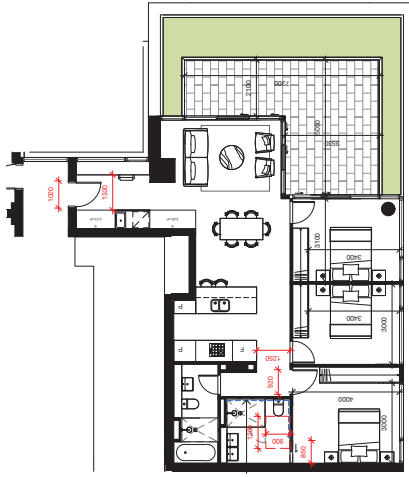
2 Bed Apartment Plans Sheet 3

At all times the drawings are to be read in conjunction with the project brief and specifications. Any discrepancies shall be resolved in favour of the most restrictive requirement. The drawings are to be read in conjunction with the project brief and specifications. Any discrepancies shall be resolved in favour of the most restrictive requirement.

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Sheet No.	Design Application	
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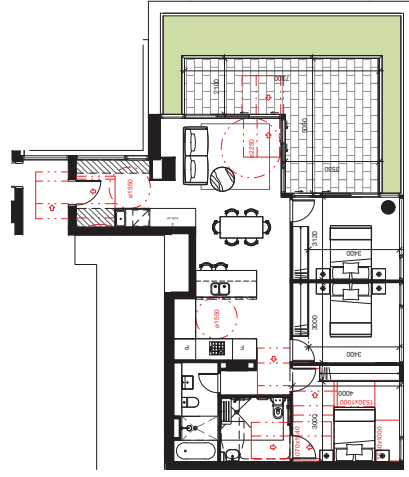
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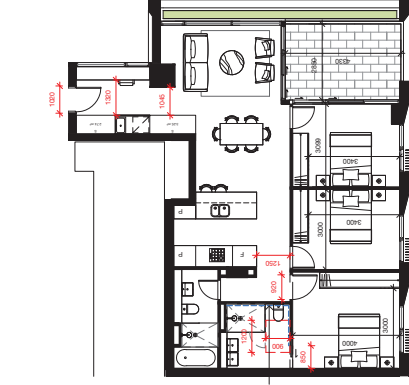


1 TW-3B-D-T PRE ADAPTION 1:100

TW-3B-D-T Apartment Type			
Type	Area	Storage Volume	Comments
TW-3B-D-T	101 m ²	25 m ³	Adaptable & Viable
			1 L15

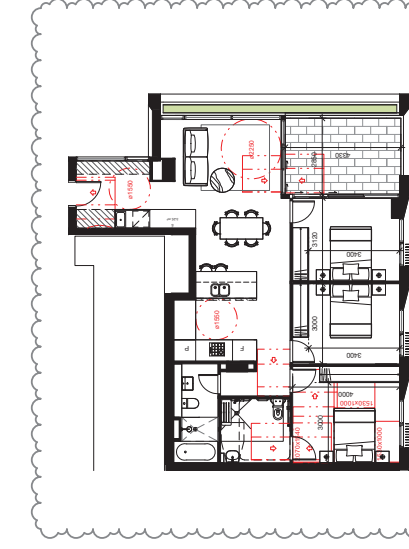


2 TW-3B-D-T POST ADAPTION 1:100



3 TW-3B-D 1:100

Type	Area	Balcony Area	Storage Volume	Comments	Count	Level
TW-3B-D	101 m ²	12 m ²	6.10 m ³	Adaptable	2	L16, L17
TW-3B-D	101 m ²	12 m ²	6.10 m ³	Variable	2	L18, L19



4 TW-3B-D POST ADAPTION 1:100



5 TW-3BT-A L 1:100

TW-3BT-A Apartment Type			
Type	Area	Storage Volume	Comments
TW-3BT-A L	10 m ²	7.08 m ³	
TW-3BT-A U	14 m ²	7.08 m ³	

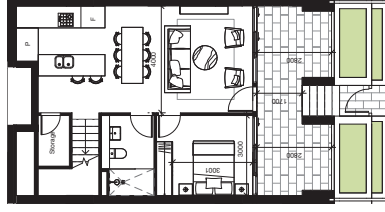


6 TW-3BT-B L 1:100

TW-3BT-B Apartment Type			
Type	Area	Storage Volume	Comments
TW-3BT-B L	82 m ²	18 m ³	
TW-3BT-B U	10 m ²	6.26 m ³	



7 TW-3BT-B U 1:100



8 TW-3BT-C L 1:100

TW-3BT-C Apartment Type			
Type	Area	Storage Volume	Comments
TW-3BT-C L	58 m ²	10 m ³	
TW-3BT-C U	53 m ²	14 m ³	



9 TW-3BT-C U 1:100

Legend - Apartment Plans

- High-level Windows

General Requirements for Conversion to Adaptable Layout

- /Walls and joinery removed as needed allow for circulation zones
- /Kitchen island bench moved and adjusted to provide accessible height and clearance between bench tops. Connect to capped plumbing ported
- /Conventional toilet replaced with accessible fixture
- /Removal of non-accessible fixtures and fittings
- /Single basin and basin mixer connected to plumbing and waste points
- /Accessible shower fittings connected to plumbing and waste points provided.
- /Grab rails installed into walls with tracing as easy provided.

Notes

- All reserved sign and ceiling panel areas are to be sealed to prevent the movement of air between a ceiling and ceiling panel.
- This project performance was for all windows and glass doors are to be in accordance with the design performance of the building.

**Dahua
903 Bourke Street Waterloo**

3 Bed Apartment Plans Sheet 2

Drawn by: [Name] Checked by: [Name]
 Design Date: 14/10/2022
 Project No: S12376
 Design Application: [Application Name]



Rev	Description	By	Check
0	14/10/22 02nd Draft (Regulatory Amendment)	BY	BY
1	13/10/22 1st Draft (Regulatory Amendment)	BY	BY
2	13/10/22 2nd Draft (Regulatory Amendment)	BY	BY
3	13/10/22 3rd Draft (Regulatory Amendment)	BY	BY

Melbourne: Nicholson Street
 Sydney: 111 St Johns Street
 Brisbane: 111 St Johns Street
 Perth: 111 St Johns Street
 Auckland: 111 St Johns Street
 Wellington: 111 St Johns Street
 Christchurch: 111 St Johns Street
 Dunedin: 111 St Johns Street
 Invercargill: 111 St Johns Street
 Nelson: 111 St Johns Street
 Tairāhema: 111 St Johns Street
 Whanganui: 111 St Johns Street
 Palmerston North: 111 St Johns Street
 Napier: 111 St Johns Street
 Hastings: 111 St Johns Street
 Gisborne: 111 St Johns Street
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